



CITY OF LEEDS, ALABAMA

SPECIAL CALLED MEETING - BOARD OF ZONING ADJUSTMENTS AGENDA

Leeds Annex Meeting Room - 1412 9th St

April 13, 2021 @ 5:00 PM

CALL TO ORDER:

ROLL CALL:

DETERMINATION OF QUORUM:

OLD BUSINESS:

1. A21-000005(B) - A request by Falletta Properties, property owner for dimensional relief to reduce the lot width from sixty (60) feet to fifty-five (55) feet and to reduce the rear setback from thirty (30) feet to twenty (20) feet - CLAIRMONT PARK PHASE VI, Tac Parcel ID(s):2601110001030037, 2601110001030000, 2601110001047000, 2601110001047003,2601110001030079, 2601110001030037, St. Clair Co., Zoned : R-5 & R-6.
2. A20-000042 - A REQUEST BY PATRICK CHUMBLEY, APPLICANT, GENESIS EQUESTRIAN CENTER, LLC, OWNER, TO ALLOW A COMMERCIAL PROCESSING FACILITY AS PART OF AN EXISTING NURSERY AT 2486 EASTERN VALLEY RD., LEEDS, AL 35094, ZONED A-1, AGRICULTURE. TPID 2400363000001001.
3. A20-000043 - A REQUEST BY WAYNE WEEMS, APPLICANT, SMALLTOWN PROPERTIES, LLC, OWNER, TO ALLOW A B-2, GENERAL BUSINESS DISTRICT USE WITHIN A I-1, INDUSTRIAL DISTRICT (SPA SERVICES - SKIN TREATMENT) AT 1628 9TH ST SUITE 112, 35094. TPID 250021100900100.
4. A21-000009 - A REQUEST BY GREGORY O'BARR, APPLICANT AND OWNER, TO ALLOW A DECK TO BE CONSTRUCTED IN THE FRONT YARD TO BE NO CLOSER THAN TEN (10) FEET FROM EDGE OF PAVEMENT AT 1171 ROBERT E LEE ST., 35094, ZONED R-2 SFD DISTRICT, TPID 2500202006023000
5. A21-000010 - A REQUEST BY KEITH JONES , APPLICANT AND OWNER, TO ALLOW A GARAGE THAT EXCEED THA MAXIMUM ALLOWED BY ORDINANCE AT 2012 PALMER AVE, 35094. TPID 2602090000000000

OTHER BUSINESS:

ADJOURNMENT:

In compliance with the Americans with Disabilities Act, those requiring accommodation for Council meetings should notify the City Clerk's Office at least 24 hours prior to the meeting at 205-699-2585.

File Attachments for Item:

1. A21-000005(B) - A request by Falletta Properties, property owner for dimensional relief to reduce the lot width from sixty (60) feet to fifty-five (55) feet and to reduce the rear setback from thirty (30) feet to twenty (20) feet - CLAIRMONT PARK PHASE VI, Tac Parcel
ID(s):2601110001030037, 2601110001030000, 2601110001047000,
2601110001047003,2601110001030079, 2601110001030037, St. Clair Co., Zoned : R-5 & R-6.

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Zoning Board of Adjustments

APPLICATION

An application for dimensional relief to reduce the lot width from sixty (60) feet to fifty-five (55) feet and to reduce the rear setback from thirty (30) feet to twenty (20) feet - CLAIRMONT PARK PHASE VI
Zoning Board of Adjustments

The Zoning Board of Adjustments is vested with the responsibility and authority of authorizing variances that will not be contrary to the public interest and where owing to special conditions, a literal enforcement of the provisions of this ordinance would result in unnecessary hardship.

CASE #:	A21-000005
APPLICANT NAME:	Christal Grammer
PROPERTY OWNER:	FALLETTA PORPERTIES
TAX PARCEL ID#S:	2601110001030037, 2601110001030000, 2601110001047000, 2601110001047003, 2601110001030079, 2601110001030037
PROPERTY ADDRESS:	0.00000000 CLAIRIDGE DR; LEEDS, AL 35094
PROPERTY ZONING:	R-5: GARDEN HOME RESIDENTIAL DISTRICT

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on:

Date: March 23, 2021

Time: 5:00 p.m.

Place: GotoMeeting

<https://global.gotomeeting.com/join/988736325>

You can also dial in using your phone. United States: +1 (571) 317-3122 Access Code: 988-736-325

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission. For more information about the application and related issues or to schedule an appointment:

E-mail: development@leedsalabama.gov

Phone: 205-699-0943

Mailing Address:

Leeds Zoning Board of Adjustments
c/o Department of Inspections
1404 9th Street
Leeds, AL 35094

This site is in the basin of the Cahaba River, a priority watershed.

INSPECTIONS WILL BE ONCE BMR MEASURES ARE INSTALLED AND EVERY 0.75" RAIN / MONTH. NO DELEGATION OF AUTHORITY THIS PROJECT CORRECTIVE LOG WILL BE KEPT BY CONTRACTOR ON SITE. INSPECTION REPORTS WILL BE SENT TO OWNER, CONTRACTOR

BMP MAY BE UPDATED, REVISED AND CHANGED IF SITE CONDITIONS WARRANT. CHANGES WILL BE LOGGED IN ACTION LOG AND BMP PLAN. REVISIONS WILL BE NOTED AND DATED. UPDATED LOG WILL BE KEPT ON SITE AND COPY IN ENGINEER'S OFFICE. REVISIONS WILL BE MADE 24 HOURS FROM INSPECTION

BMP TYPE MAINTENANCE SCHEDULE STAFF TYPE A SILT FENCE PERIMETER, INSPECT 0.75" RAIN / MONTHLY BY QCP SURFACE ROUGHENING POND SLOPES, DURING POND GRADING, INSPECT INLET PROTECTION, INSPECT 0.75" RAIN / MONTHLY BY QCP CONSTRUCTION EXIT, 0.75" RAIN / MONTHLY DAILY BY QCP ON SITE SEDIMENT TRAPPED IN BMPs, INSPECT 0.75" RAIN / MONTHLY BY QCP

- LEGEND**
- SF — SF CLASS I SILT FENCE METAL POSTS WIRE REINFORCEMENT
 - CE — CONSTRUCTION EXIT
 - SR — Surface Roughening
 - NP — SILT SOCK INLET PROTECTION
 - PS — PERMANENT SEEDING SEED AND MULCH DISTURBED AREAS AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS
 - So — PERMANENT SOD SOD DISTURBED AREAS AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS

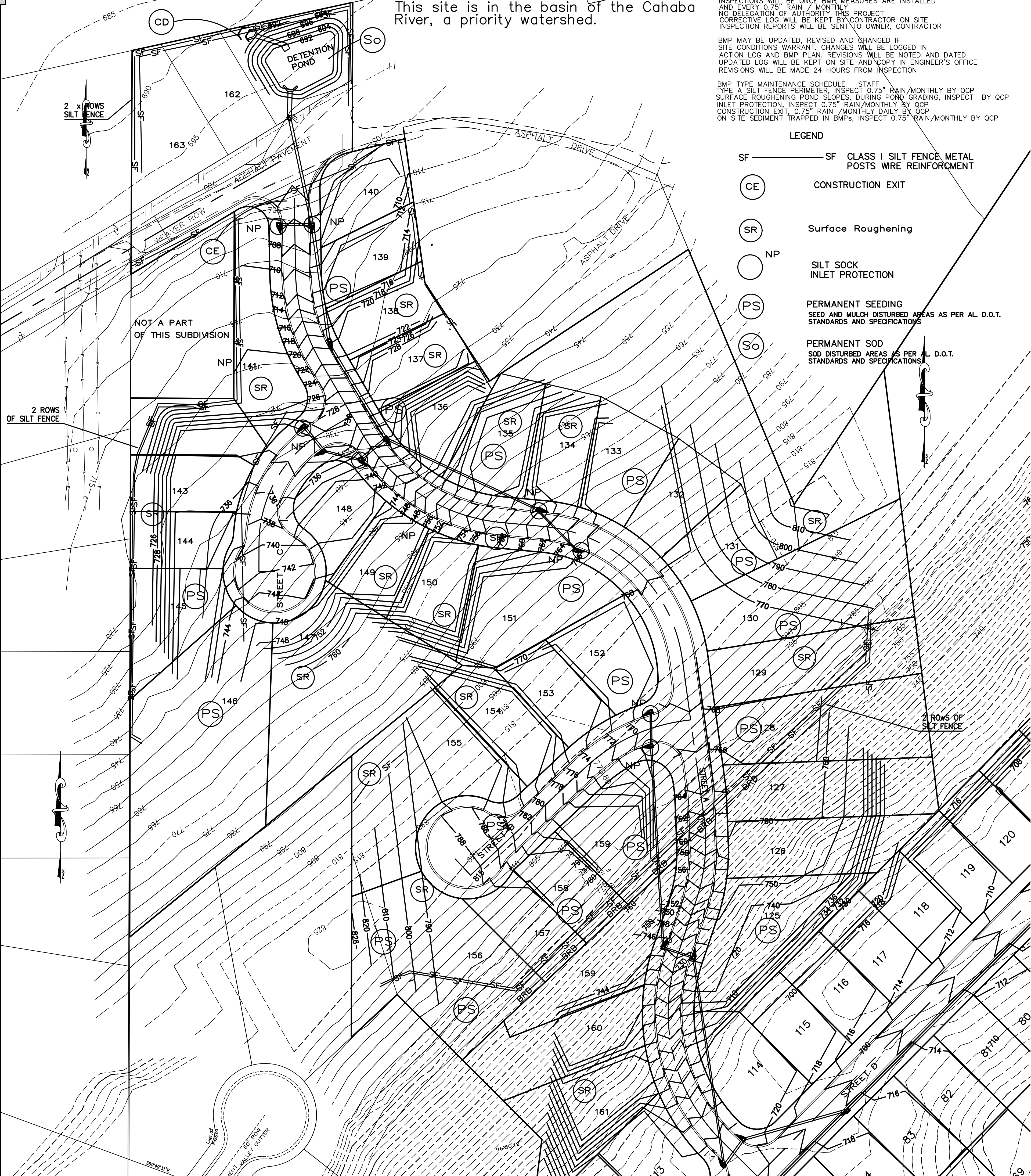
1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE JOB SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
2. ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF EXPOSED SOIL AT ANY ONE TIME. DO NOT GRADE UNTIL READY TO BUILD IMPROVEMENTS IN THAT AREA.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS IS FURNISHED TO THE OWNER.
5. THE CONTRACTOR IS TO INSTALL ALL EROSION CONTROL DEVICES BEFORE ANY CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AFTER EVERY 0.75" RAINFALL AND BE REPAIRED AND MAINTAINED DAILY UNTIL ALL CONSTRUCTION IS COMPLETED.
6. ALL DISTURBED GROUND LEFT INACTIVE FOR 13 OR MORE DAYS SHALL BE STABILIZED BY SEEDING, OR SODDING PER AL. DOT STANDARDS AND SPECIFICATIONS.
7. ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING/SHOVELING, MECHANICAL OR MANUAL SWEEPING, AND NOT BY FLUSHING BEFORE THE END OF EACH DAY.
8. ALL DISTURBED SHALL BE SODDED OR SEEDED & MULCHED AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS OR FOR DETAILS SHEET 13.
9. ALL SEEDING AND MULCH WILL BE PER AL DOT STANDARDS AND SPECIFICATIONS.
10. NA
11. There are no allowable non-stormwater discharges from this site except dust control.
12. Once site is stabilized and grassed, NPDES permit properly terminated BMP to be removed.
13. Core is to be taken fueling equipment, properly clean up spills, properly dispose of contaminated soils in appropriate environmental landfill.
- Contractor shall keep on hand sufficient oil and grease absorbing materials to contain and cleanup fuel spills or leaks. No additional BMP required. Spill kit to contain at minimum:
2 x 48" socks, 10 x soak up pads, 2 x disposal bag and ties. Instruction manual.
14. Respread using best methods any silt/ sediment buildup captured behind BMP and reseed and compact on site. Remove any silt/sediment entering storm sewers inlets and pipes, reseed and compact on site. Remove any silt/sediment when at 50% of BMP, monitor BMPs for this weekly. Remove any silt/sediment that reaches offsite, bring back to site, reseed and compact.
15. This BMP plan may be updated as required by changes to construction, ADEM, weather patterns or new technologies as directed by the engineer, local, state or federal officials.
16. No turbidity testing required.
17. No wetlands or riparian zones on the site.
18. Stormwater Discharge point for entire site is along southern property line.
19. Trash, construction waste, debris, garbage, etc shall be disposed in waste containers and properly disposed of once a week.
20. There are no allowable sources of non storm water discharges except Dust control, vehicle washdown and fire water.
21. NA
22. 8.5 Disturbed Acres, No Stormwater Turbidity monitoring is required .
23. Latitude = 33°33'41" N, Longitude = 86°50'18" W
24. SIC Code = 1542
25. CBPPP prepared by Joseph A. Miller, III, PE/LS 17054
26. Contact CBPPP information at right.
27. NO VEHICLE WASHOUT AREA OR VEHICLE WASHING WITH SOAP THIS SITE.
28. NO UNIQUE FEATURES TO BE PROTECTED THIS SITE.
29. No additional applicable Federal, State programs this site.
30. All records will be kept at Engineer's office and Contractor's office for 3 years and will be available on request by ADEM.
31. Corrective action log will be kept on site and updated by Engineer.

Owner / Developer:
Jackie Fallera
CLAIRMONT HOMES, LLC
P.O. Box 9
LEEDS, AL 35004
205-641-7286

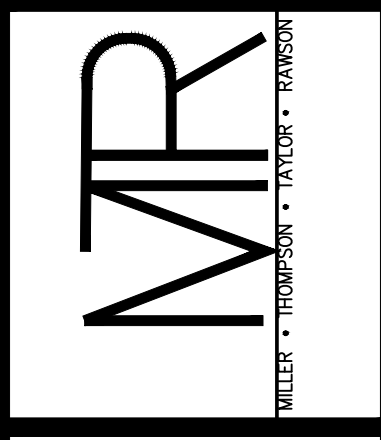
Engineer:
Joseph A. Miller, III, PE/LS 17054
MTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, AL 35224
TELEPHONE (205) 320-0114

NOTE: No land-disturbing activities shall be undertaken except in accordance with the following requirements:
(1) The person(s) proposing to conduct any land-disturbing activity or an agent, contractor or other representative of such person must contact Leeds, Al. at least five (5) business days before commencement of the land-disturbing activity to advise the Official of the commencement of such land-disturbing activity, unless, for good cause shown, the Official permits such person, contractor, agent or other representative to contact him nearer to the date of the commencement of such land-disturbing activity.

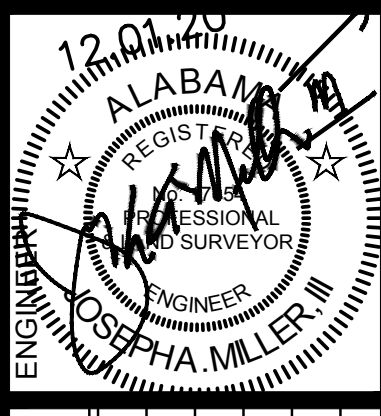
- (2) Erosion and sediment control measures in Street ROW required by the BMP Plan shall be in place and functional before any clearing or earth-moving operations begin, and shall be constructed and maintained throughout the construction period.
- (3) THE ANGLE OF GRADED SLOPES AND FILLS SHALL BE NO GREATER THAN 2:1. SOLID SOD SHALL BE USED ON DETENTION POND SLOPES AND BOTTOM, ALL OTHER DISTURBED, NON PAVED AREAS SHALL BE SEEDED AND MULCHED PER ALDOT SPECIFICATIONS. ANY SLOPE OR FILL WHICH HAS BEEN GRADED SHALL, WITHIN THIRTEEN (13) DAYS OF COMPLETION OF SUCH GRADING OR THE COMPLETION OF ANY PHASES OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH GROUND COVER, MATERIALS, DEVICES OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. THE BMPs SHALL REMAIN IN PLACE IN ACCORDANCE WITH THE BMP PLAN UNTIL THE GRADED SLOPE OR FILL IS STABILIZED.
- (4) ADEQUATE PROTECTIVE MEASURES SHALL BE PROVIDED FOR THE CONTAINMENT OF HAZARDOUS SUBSTANCES AND ANY OTHER MATERIALS WHICH MAY POLLUTE INCLUDING PETROLEUM PRODUCTS, LUBRICANTS AND PAINTS. CONTRACTOR SHALL NOT STOCKPILE EXCESS MATERIAL ON SITE. ALL HAZARDOUS SUBSTANCES USED FOR THIS PROJECT (PAINT, OIL, GREASE AND OTHER PETROLEUM PRODUCT(S) SHALL BE STORED IN ACCORDANCE WITH SPC REGULATIONS THESE SUBSTANCES SHALL BE STORED AWAY FROM STORM DRAINS, DITCHES AND GUTTERS IN WATER TIGHT CONTAINERS, DISPOSAL OF THESE SUBSTANCES SHALL BE IN ACCORDANCE WITH ADEM REGULATIONS. CONTRACTOR SHALL PROVIDE ADEQUATE TRASH CONTAINERS ON SITE FOR THE DISPOSAL OF CONSTRUCTION MATERIAL WASTE. CONTRACTOR SHALL BE RESPONSIBLE FOR PREVENTING TRASH FROM THE SITE TO ENTER THE STORM DRAINAGE SYSTEM. SITE WILL BE POLICED FOR TRASH AT THE END OF EACH WORK DAY AND TRASH WILL BE PLACED IN TRASH CONTAINERS .
- (5) ALL CONTROL MEASURES SHALL BE CHECKED AND REPAIRED AS NECESSARY, MONTHLY IN DRY PERIODS AND WITHIN TWENTY-FOUR (24) HOURS AFTER ANY RAINFALL AT THE SITE OF .75 INCHES WITHIN A TWENTY-FOUR (24) HOUR PERIOD. DURING PROLONGED RAINFALLS, DAILY CHECKING AND, IF NECESSARY, REPAIRING SHALL BE DONE. THE PERMITTEE SHALL MAINTAIN WRITTEN RECORDS OF CHECKS AND REPAIRS, WHICH RECORDS SHALL BE SUBJECT TO INSPECTION BY THE OFFICIAL AT ANY REASONABLE TIME. REPAIRS WILL BE MADE WITHIN 24 HOURS OF RECEIVING INSPECTION REPORT
- (6) THE DISTURBED AREA SIZE IS 30 ACRES +/-, AND THE PROJECT WILL TAKE 360 DAYS FROM COMMENCEMENT.
- (7) A SITE PLAN, ACCOMPANIED BY A WRITTEN DESCRIPTION OF BMPs WHICH ARE SHOWN ON THE SITE PLAN, AND A SCHEDULE OF IMPLEMENTATION DURING LAND-DISTURBING ACTIVITIES AND CONSTRUCTION WILL BE ONSITE PRIOR TO THE COMMENCEMENT OF ANY LAND-DISTURBING ACTIVITIES.
- (8) ALL MATERIALS SHALL BE PROPERLY STORED, OR STOCKPILED. ALL CONTAINERS TO BE STORED CLOSED IN OR IN COVER. ALL EXCESS OR WASTE MATERIALS TO PROPERLY DISPOSED OF. SECTION 5.02 DESIGN AND PERFORMANCE STANDARDS
- (D) THE EXISTING PROPERTY IS A WOODED HILLSIDE DRAINING TO THE NORTH. THIS WILL BE GRADED FOR ROADS AND SINGLE FAMILY HOUSES, THEN STABILIZED. THERE ARE NO EXISTING EROSION PROBLEMS NOR UNIQUE FEATURES WHICH NEED TO BE PRESERVED ON THIS SITE, NOR ANY ENDANGERED SPECIES ON THIS SITE. THERE IS HISTORICAL PRESERVATION REQUIRED REQUIRED ON THIS SITE. THE PROJECT WILL NOT CAUSE ANY EROSION PROBLEMS. THE PROJECT WILL COMMENCE IN MARCH 2020 WILL TAKE 360 DAYS TO FINISH. THIS PROJECT IS SUBJECT TO THE APPROVAL OF THE OFFICIAL PRIOR TO THE ISSUANCE OF THIS PERMIT.
- (I) CONTROL MEASURES SHALL BE MAINTAINED AS AN EFFECTIVE BARRIER TO SEDIMENTATION AND EROSION IN ACCORDANCE WITH THIS PLAN.
- (J) THERE SHALL BE NO DISTINCTLY VISIBLE FLOATING SCUM, OIL OR OTHER MATTER CONTAINED IN THE STORM WATER DISCHARGE. THE STORM WATER DISCHARGE TO MUST NOT CAUSE AN UNNATURAL COLOR (EXCEPT DYES OR OTHER SUBSTANCES DISCHARGED TO THE PURPOSE OF ENVIRONMENTAL STUDIES AND WHICH DO NOT HAVE HARMFUL EFFECT ON THE BODIES OF WATER WITHIN OR OODR IN THE COMMUNITY WATERS. THE STORM WATER DISCHARGE MUST RESULT IN NO MATERIALS IN CONCENTRATIONS SUFFICIENT TO BE HAZARDOUS OR OTHERWISE DETRIMENTAL TO HUMANS, LIVESTOCK, WILDLIFE, PLANT LIFE OR FISH AND AQUATIC LIFE IN THE COMMUNITY WATERS.
- (K) WHEN THE LAND-DISTURBING ACTIVITY IS FINISHED AND STABLE VEGETATION OR OTHER PERMANENT CONTROLS HAVE BEEN ESTABLISHED ON ALL REMAINING EXPOSED SOIL, THE OWNER OF THE LAND WHERE THE LAND-DISTURBING ACTIVITY WAS CONDUCTED, OR HIS AUTHORIZED AGENT, SHALL NOTIFY PELHAM OF THESE FACTS, AND REQUEST A FINAL INSPECTION BY PELHAM. PELHAM SHALL THEN INSPECT THE SITE WITHIN FIVE (5) WORKING DAYS AFTER RECEIPT OF THIS NOTICE, AND MAY REQUIRE ADDITIONAL MEASURES TO STABILIZE THE SOIL AND CONTROL EROSION AND SEDIMENTATION. IF ADDITIONAL MEASURES ARE REQUIRED BY THE CITY OF LEEDS, AL. & ADEM WRITTEN NOTICE OF SUCH ADDITIONAL MEASURES SHALL BE DELIVERED TO THE OWNER, AND THE OWNER SHALL CONTINUE TO BE COVERED BY THE PERMIT ISSUED WITH RESPECT TO THE LAND-DISTURBING ACTIVITY UNTIL A FINAL AND COMPLETE INSPECTION IS MADE AND THE ADEM & PELHAM APPROVES THE PROJECT AS HAVING BEEN SATISFACTORILY COMPLETED AND DELIVERS TO THE OWNER, WITHIN TEN (10) DAYS OF THE DATE OF SUCH APPROVAL, A CERTIFICATION SHOWING THAT THE REQUIREMENTS OF THE PERMIT HAVE BEEN FULFILLED. AT THAT TIME THE SITE AND/OR THE PROJECT CONSTRUCTED THEREON MAY COME UNDER THE OPERATION OF OTHER ORDINANCES OF THE PERMITTING AUTHORITY.



MTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, AL 35244
TELEPHONE (205) 320-0114

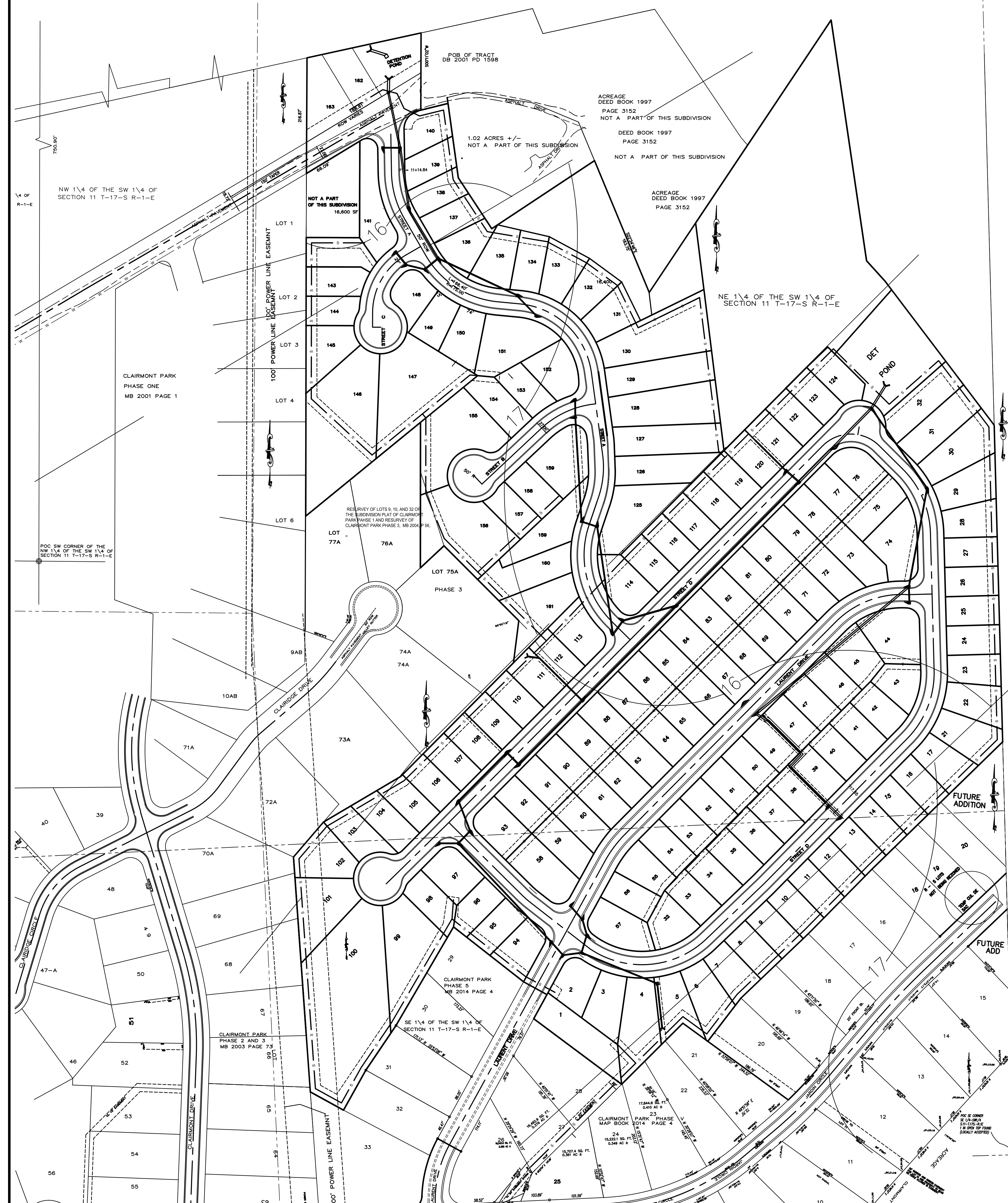


PROJECT: GRADING / EROSION CONTROL PLANS FOR
CLAIRMONT PHASE VI
Property being situated in the Northeast 1/4 of the Southwest 1/4 of Section 11, Township 17 South, Range 1 West, Leeds, St. Clair County, Alabama



REVISIONS	DATE	DESCRIPTION
1	8.04.15	rev'd grades

JOB NO. _____
FILE NAME: AAA PLOTS \ CLAIRMONT PARK LEEDS
DATE: 11.30.20
DRAWN: JAM/bsp
CHECKED: JAM III
SCALE: nts
SHEET



Soils Classifications
 16 Etowah-Rock outcrop complex, 2 to 8 percent slopes
 17 Fullerton-Bodine complex, 8 to 20 percent slopes

Vegative communities
 Only trees over 6" in diameter were located.

- Trees
1. Pine trees over 6" in diameter = 200 +/- , age 15 years
 2. Clusters of mimosa trees over 6" in diameter = 50 +/-, age 15 years
 3. Oak trees over 6", larger ones 15-24" in diameter = 15, age 150 years
Oak trees 6"-12" in diameter = 25, age 50 years
 4. Sweetgum Trees 6" in diameter = 30, age 15 years
 5. Elm Trees, 6" in diameter = 10, age 15 years

Flowers :
 No flowers were observed.

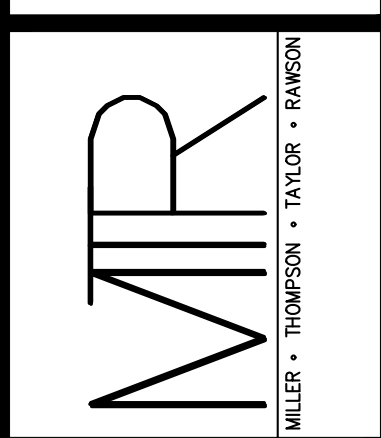
- B. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse conditions affecting the site.
 C. Site Assesment:
 (a) geologic formations - None
 (b) soils classifications - See Index at right
 (c) colluvium - None
 (d) bluffs - None
 (e) sinkholes - None
 (f) caves - None
 (g) landslides (active and inactive) - None
 (h) lineaments - None
 (i) springs - None
 (j) seeps - None
 (k) streams (perennial, intermittent, wet weather) - None
 (l) wetlands - None
 (m) Groundwater recharge points - None
 (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table at right
 (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
 (p) evidence of recent or ancient quarry operations - None
 (q) spoils areas- None
 (r) dump sites (active, inactive, or covered/reclaimed) - None
 (s) existing fills and excavations- None

- D. There are no wooded areas, wetlands, unstable soils or slopes and any other adverse condition affecting the site.
 E. Site Assesment:
 (a) geologic formations - None
 (b) soils classifications - See Index at right
 (c) colluvium - None
 (d) bluffs - None
 (e) sinkholes - None
 (f) caves - None
 (g) landslides (active and inactive) - None
 (h) lineaments - None
 (i) springs - None
 (j) seeps - None
 (k) streams (perennial, intermittent, wet weather) - None
 (l) wetlands - None
 (m) Groundwater recharge points - None
 (n) vegetative communities, including the five most abundant tree and floral species for each community, in order of abundance and including the approximate age of each community. See table above
 (o) endangered and threatened species as determined by the US Fish and Wildlife Service - None
 (p) evidence of recent or ancient quarry operations - None
 (q) spoils areas- None
 (r) dump sites (active, inactive, or covered/reclaimed) - None
 (s) existing fills and excavations- None
 (t) existing drainage retention and detention areas- None
 (u) wells, whether active or inactive, open or closed storage tanks, regardless of contents, both above ground and underground-None

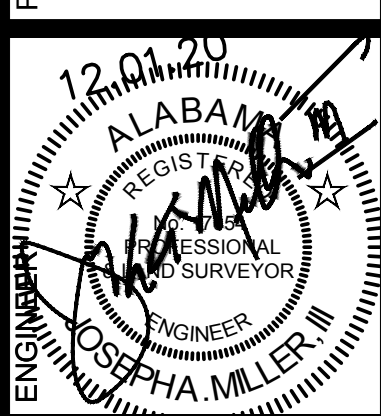
- F. Site assessment map
 (a) Joseph A. Miller, III, PE/LS 17054, Observed during site walk through for items a - u
 (b) Soils types by graphic plotting from Soils Conservation Service Map
 (c) Soils types shown on site assesment map
 No other findings
 (d) There are no adverse effects from items a-u.
 (e) There are no adverse effects from items a-u.
 (f) 20' Required front and 20' rear

- G. Site Information
 a. Site acreage = 39.5 acres
 b. smallest lot = 5500 sf / 0.13 acres
 c. 163 lots
 d. 6000 LF streets
 Note:
 1.No part of this subdivisions subtending land falls within 200 ft. of any Gas Transmission Pipeline or Fiber optic trunk line.

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 HOOVER, AL. 35244
 TELEPHONE (205) 320-0114



Site Assessment Map
CLAIRMONT PARK PHASE VI
 Property being situated in the
 Southeast 1/4 of the
 Southwest 1/4 of Section 11,
 Township 17 South, Range 1 West, Leeds,
 St. Clair County, Alabama



REVISIONS	DATE

JOB NO.
 FILE NAME:AAA PLOTS \
 CLAIRMONT PARK LEEDS
 DATE:
 NOVEMBER 11th, 2020
 DRAWN:
 JAM/bsp
 CHECKED:
 JAM III
 SCALE:
 1" = 100.00'
 SHEET
20

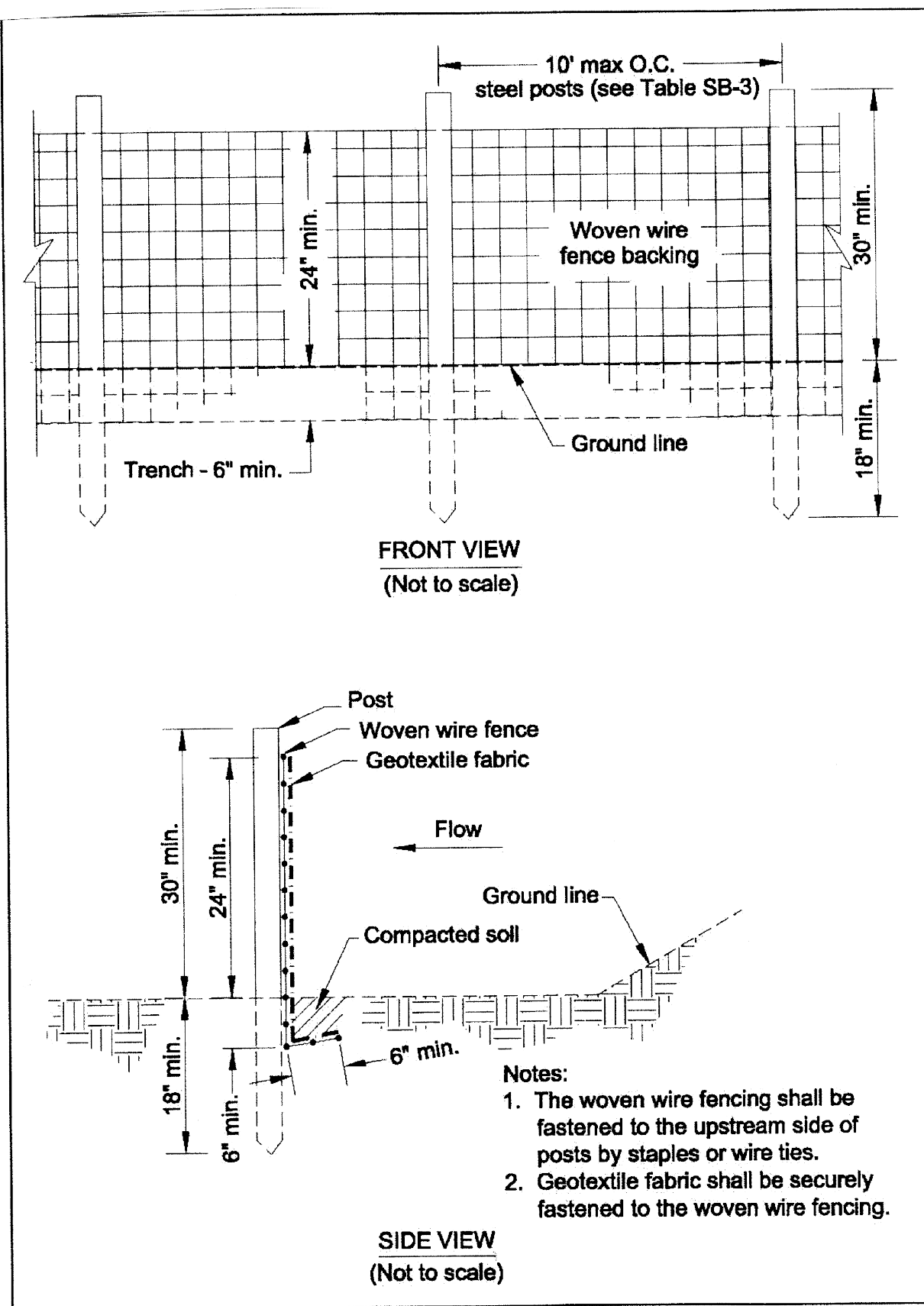
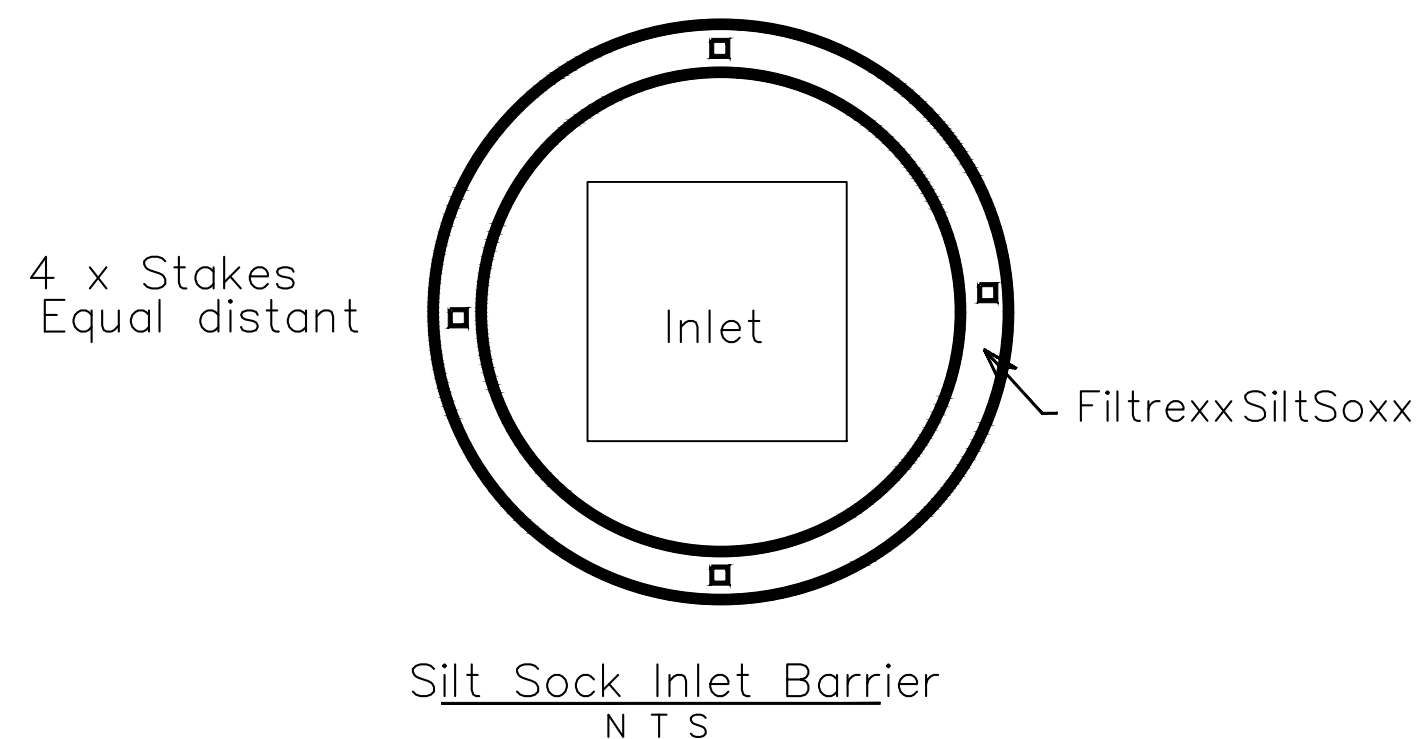
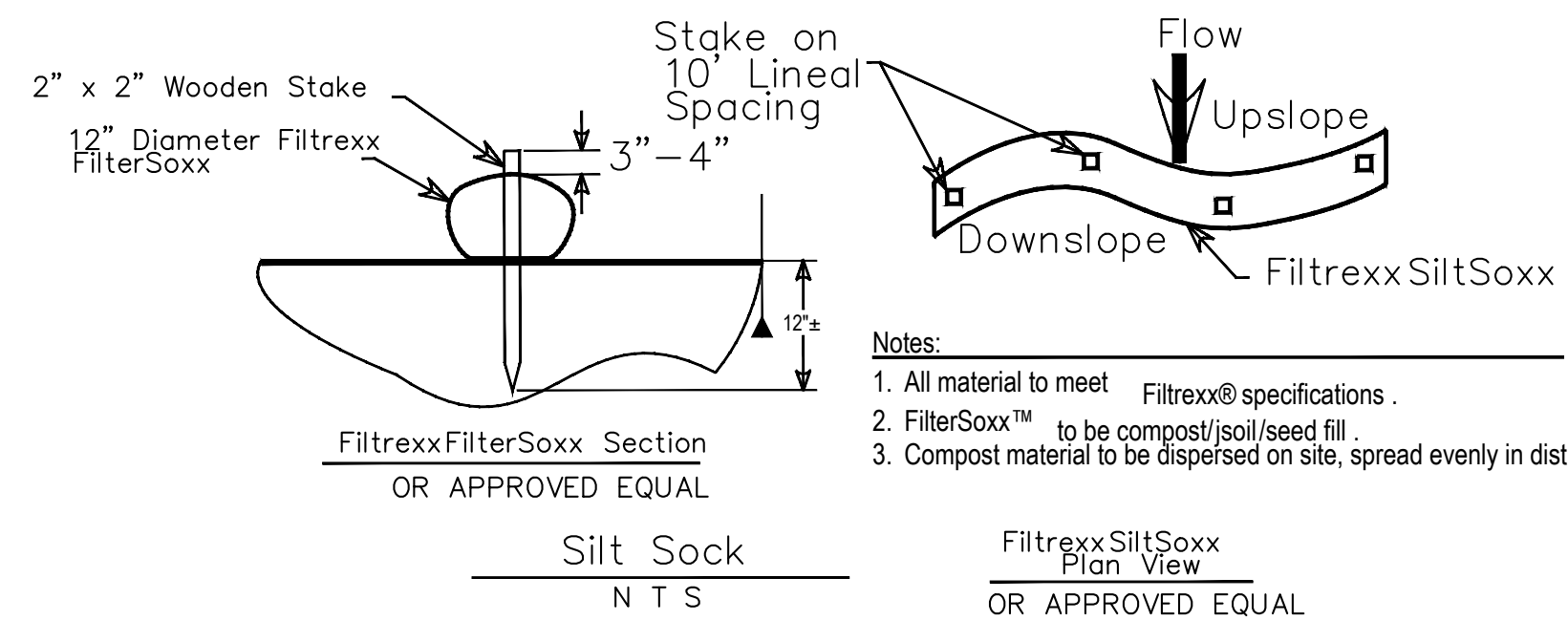
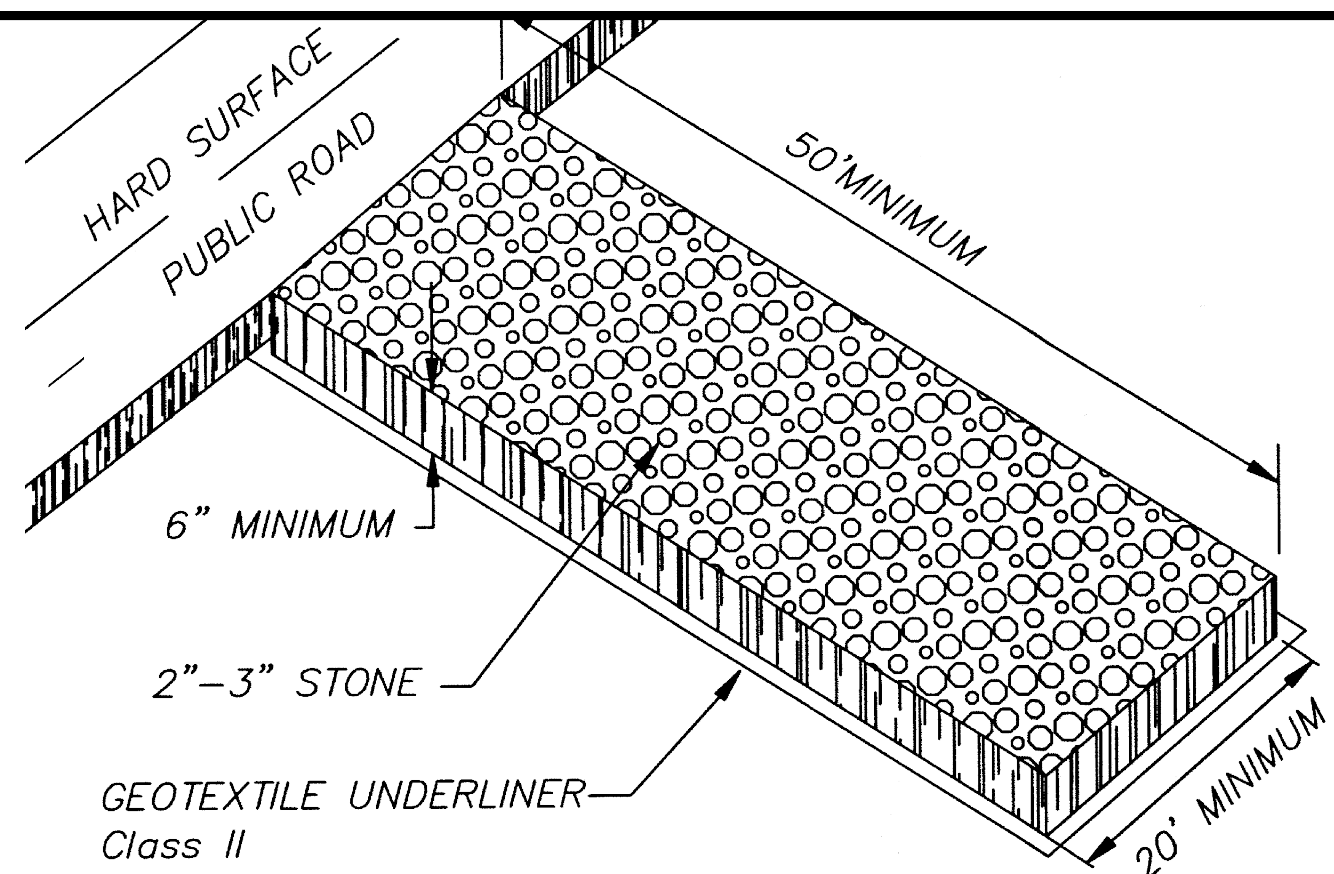
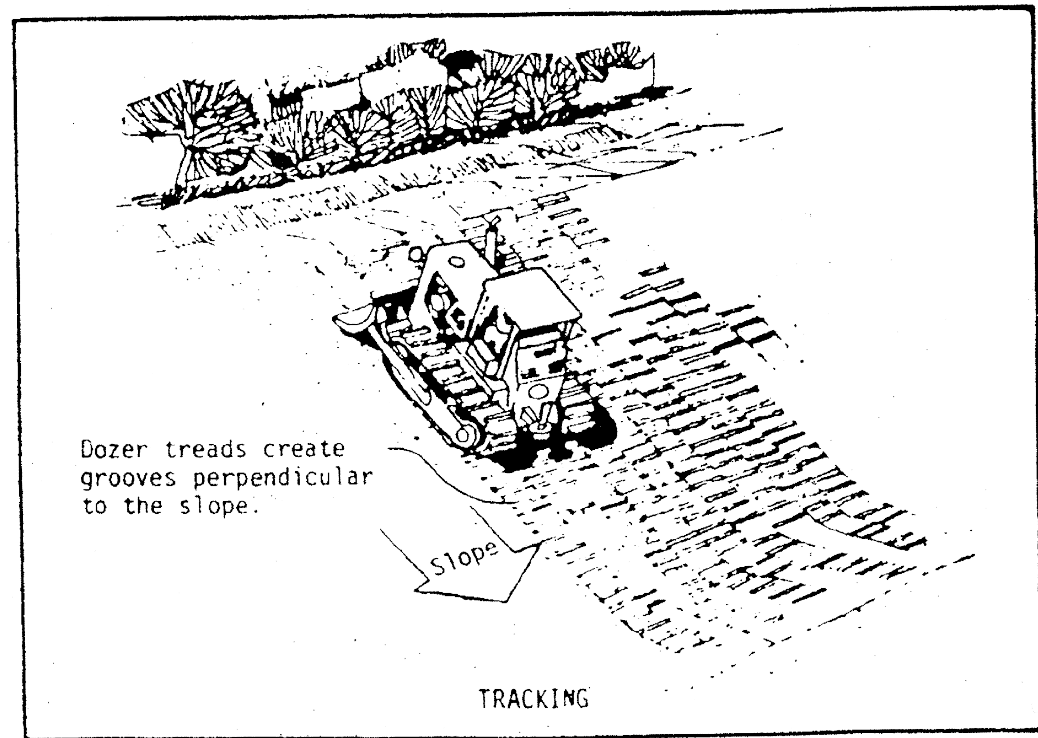


Figure SB-1 Silt Fence-Type A

- For fabric material requirements see Table SB-1
- For post material requirements see Tables SB-3 and SB-4

TYPE A SILT FENCE TO BE USED

Table SB-3 Post Size for Silt Fence

	Minimum Length	Type of Post	Size of Post
Type A	4'	Steel	1.3lb./ft. min.

Table SB-1 Specifications for Silt Fence

Specifications	Type A
Tensile Strength (Lbs. Min.) ¹ ASTM D-4632	Warp - 260 Fill - 100
Elongation (% Max.) (ASTM D-4632)	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	no.30
Flow Rate (Gal/Min/Sq. Ft.) (GDT-87)	70
Ultraviolet Stability ² (ASTM D-4632 after 300 hours weathering in accordance with ASTM D-4355)	80
Bursting Strength (PSI Min.) (ASTM D-3786 Diaphragm Bursting Strength Tester)	175
Minimum Fabric Width (Inches)	36

¹ Minimum roll average of 5 specimens.
² Percent of required initial minimum tensile strength.

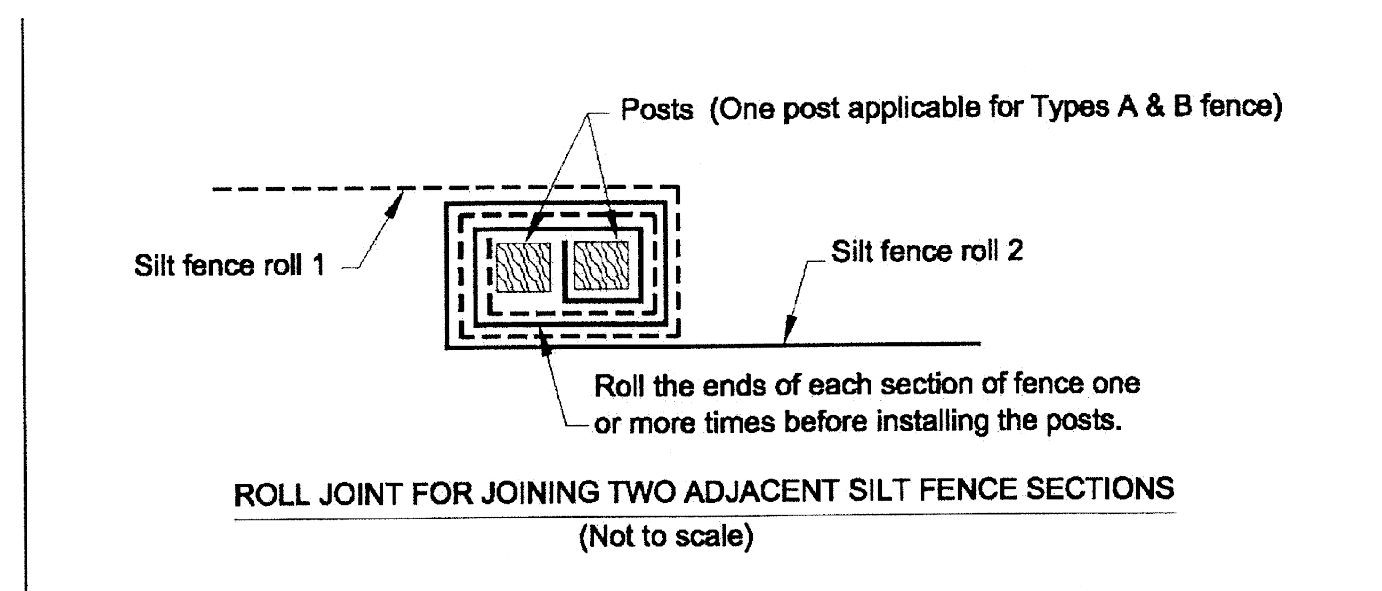
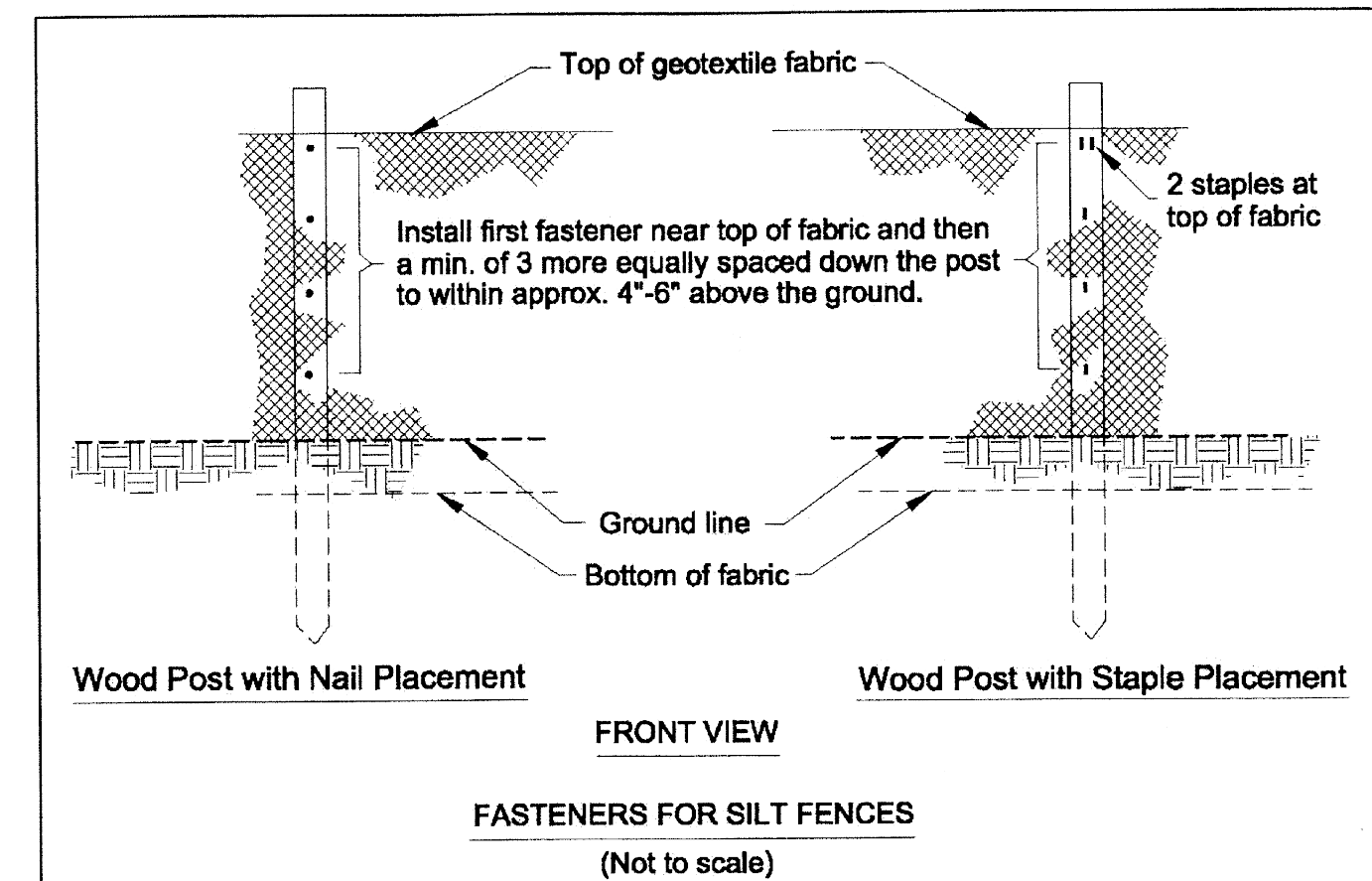


Figure SB-4 Silt Fence Installation Details



PLACEMENT The barrier should be mostly on a contour or constant elevation with each end of the barrier turned up to a higher elevation so that excessive flows will overtop the barrier instead of bypassing the barrier. Brush should be placed in a longitudinal dense pile with main stems oriented perpendicular to the direction of flow. Generally, the barrier should be at least 3 feet tall, but no more than 6 feet tall. The width of the barrier perpendicular to the direction of flow should be at least 5 feet at its base. Small stems and limbs protruding from the bundle that could damage the fabric should be trimmed.

Fabric

The fabric used to face the upstream surface of the brush should be non-woven geotextile equivalent to Class II fabric (see Table BFB-1).

Table BFB-1 Requirements for Nonwoven Geotextile ** Use Class III*

Property	Test method	Class I	Class II	Class III	Class IV
Tensile strength (lb) ²	ASTM D 4632 grab test	180 minimum	120 minimum	90 minimum	115 minimum
Elongation at failure (%) ²	ASTM D 4632	≥ 50	≥ 50	≥ 50	≥ 50
Puncture (pounds)	ASTM D 4833	80 minimum	60 minimum	40 minimum	40 minimum
Ultraviolet light (% residual tensile strength)	ASTM D 4355 150-hr exposure	70 minimum	70 minimum	70 minimum	70 minimum
Apparent opening size (AOS)	ASTM D 4751	As specified max. no.40 ³	As specified max. no.40 ³	As specified max. no.40 ³	As specified max. no.40 ³
Permeability sec ⁻¹	ASTM D 4491	0.70 minimum	0.70 minimum	0.70 minimum	0.10 minimum

Table copied from NRCS Material Specification 592.

- Heat-bonded or resin-bonded geotextile may be used for classes III and IV. They are particularly well suited to class IV. Needle-punched geotextile are required for all other classes.
- Minimum average roll value (weakest principal direction).
- U.S. standard sieve size.

The fabric to be used shall be supplied in lengths and widths to minimize vertical splices and eliminate horizontal splices. The minimum vertical splice overlap should be 3 feet. Vertical splices must be securely fastened to each other so that flows will not short-circuit through the splice.

The fabric will be securely buried at the bottom of an excavated trench that is at least 6" deep in front of the barrier. Prior to compacting backfill in the trench, the fabric should be securely staked at 3-foot centers with wooden stakes a minimum of 18" long.

The top edge of the fabric will be secured so that it will not sag below the designed storage elevation. The upper edge can be anchored with twine fastened to the fabric and secured to stakes behind the barrier.

Table PS-1 Perennial Grasses, Legumes and Mixtures; Seeding Rates; and Planting Dates for Disturbed Areas

Species	Seeding Rates/Ac	Seeding Dates & Adapted Area		
		North	Central	South
Bahiagrass, Pensacola	40 lbs	---	Mar 1-July 1	Feb 1-Nov 1*
Bermudagrass, Common	10 lbs	Apr 1-July 1	Mar 15-July 15	Mar 1-July 15
Bahiagrass, Pensacola	30 lbs	---	Mar 1-July 1	Mar 1-July 15
Common Bermudagrass	5 lbs	---	Mar 1-July 1	Mar 1-July 15
Bermudagrass, Hybrid (Lawn Types)	Solid Sod	Anytime	Anytime	Anytime
Bermudagrass, Hybrid (Lawn Types)	Sprigs	Mar 1-Aug 1	Mar 1-Aug 1	Feb 15-Sep 1
Fescue, Tall	40-50 lbs	Sep 1-Nov 1	Sep 1-Nov 1	---
Sericea	40-60 lbs	Mar 15-July 15	Mar 1-July 15	Feb 15-July 15
Sericea & Common Bermudagrass	40-60 lbs 10 lbs	Mar 15-July 15	Mar 1-July 15	Feb 15-July 15

* Fall planting of bahia should contain 45 pounds of small grain to provide cover during winter months.

Note: Legume seed should be treated with the inoculant specific for the species of legume.

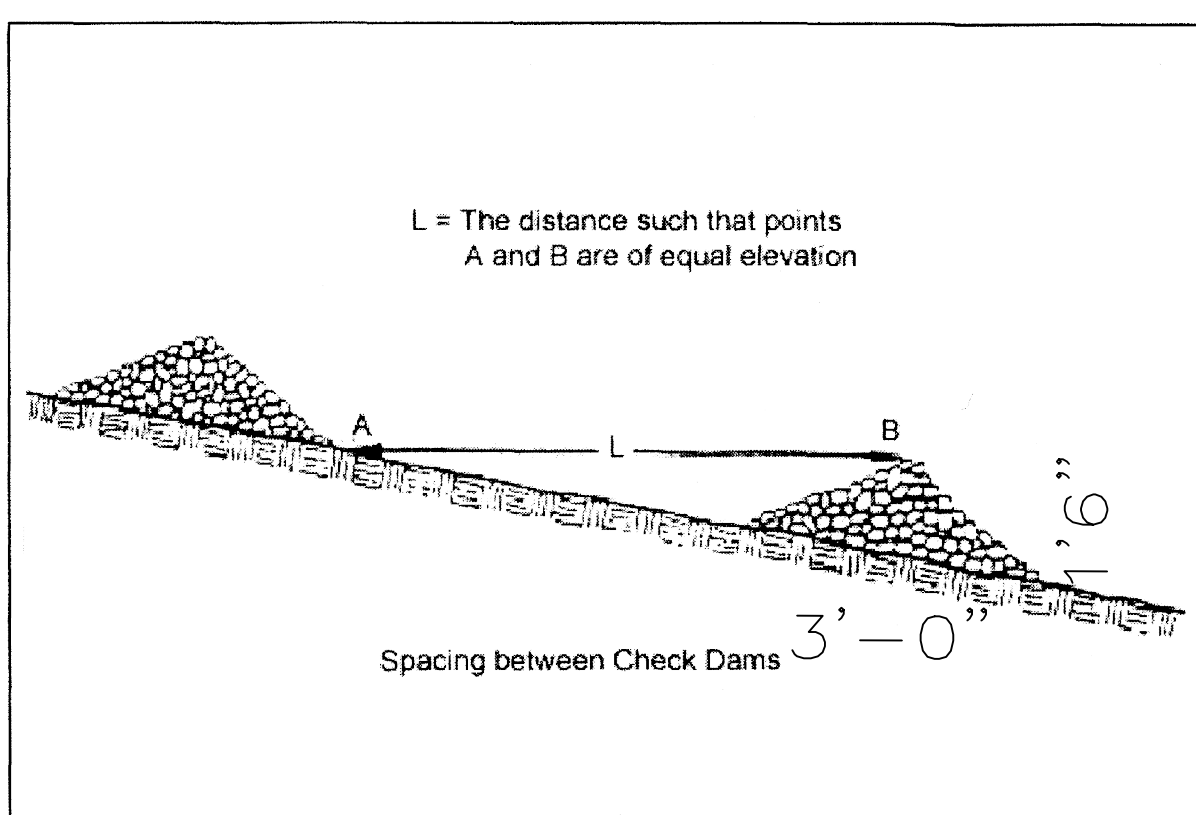


Figure CD-2 Cross Section of Typical Rock Check Dam

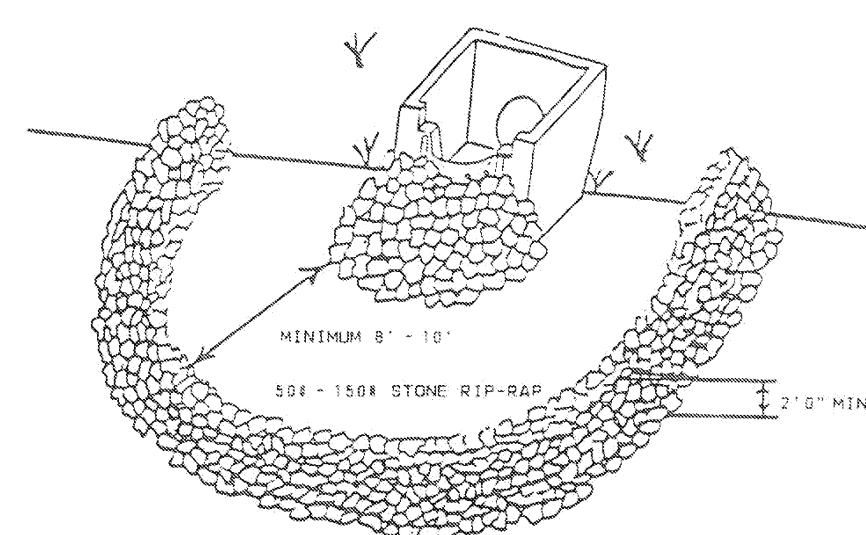


Figure RF-3. Stone Filter Ring.

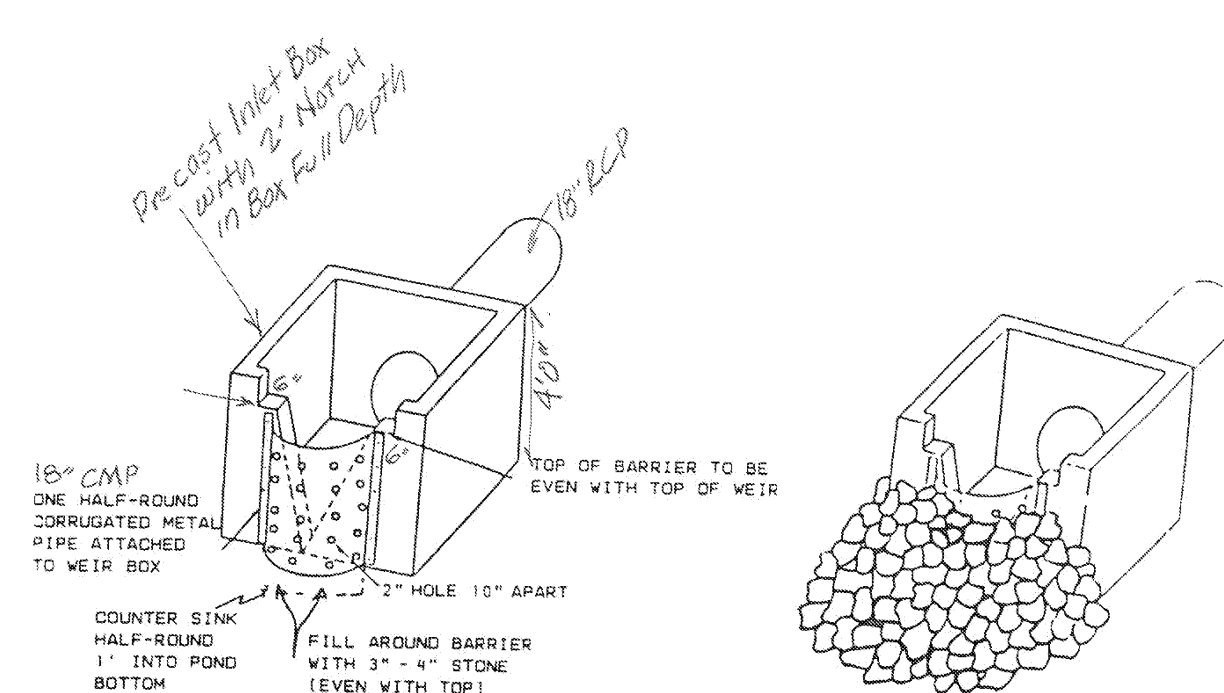
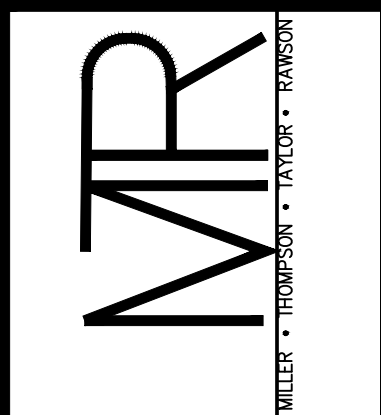
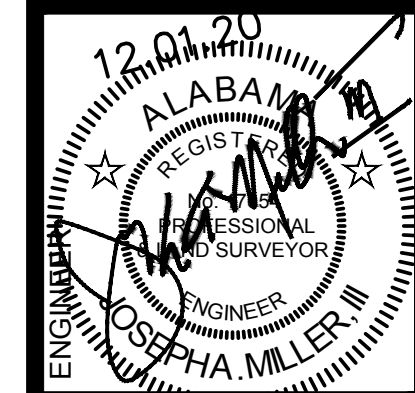


Figure RF-1. Perforated Half-Round Pipe with Stone Filter. RIP RAP TO USED AT DETENTION DURING CONSTRUCTION, REMOVED ONCE CONSTRUCTION COMPLETED

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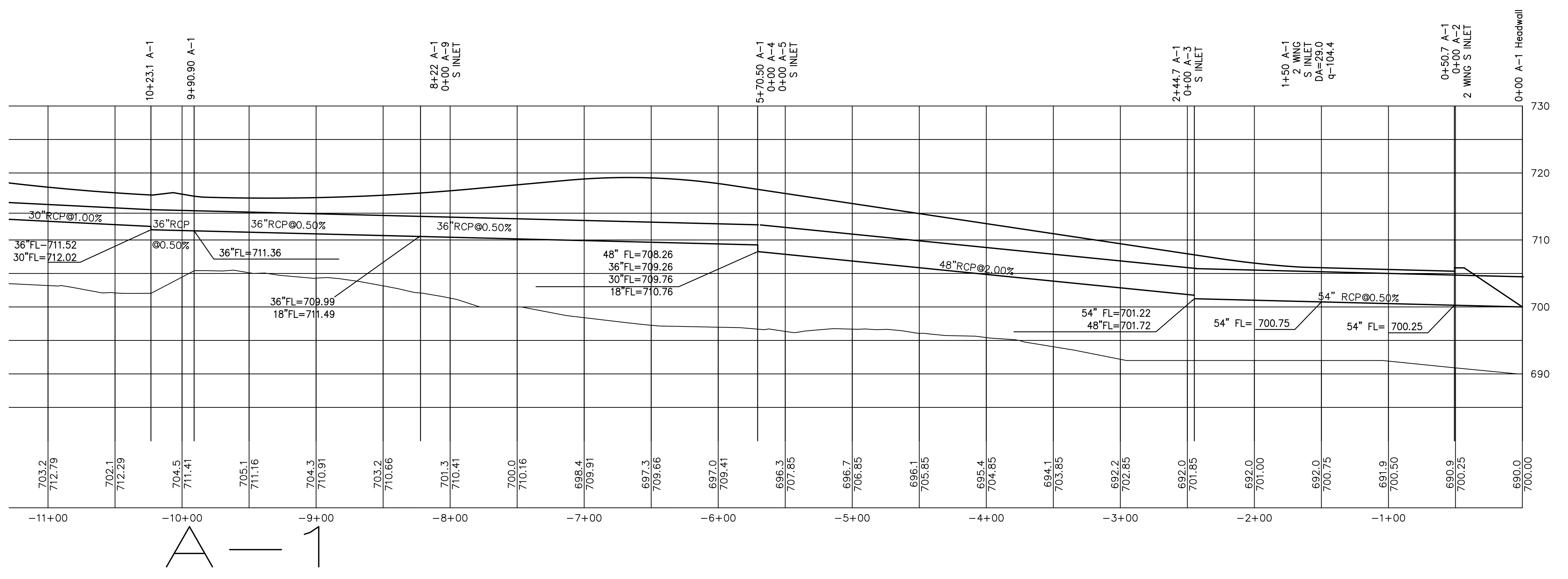


PROJECT EROSION AND SEDIMENT CONTROL DETAILS
CLAIMMONT PARK PHASE VI
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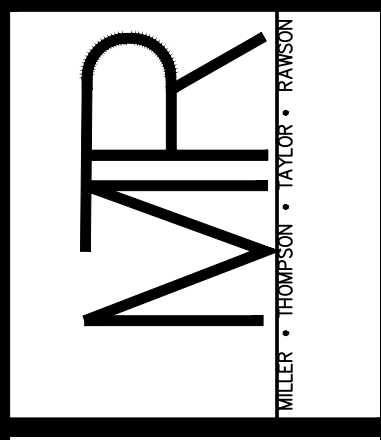


REVISIONS	DATE	JOB NO.

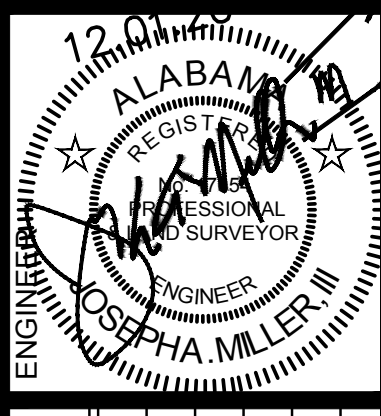
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CLAIMMONT PARK LEEDS
DATE: 12.01.20
DRAWN: JAM/bsp
CHECKED: JAM III
SCALE: nts
SHEET



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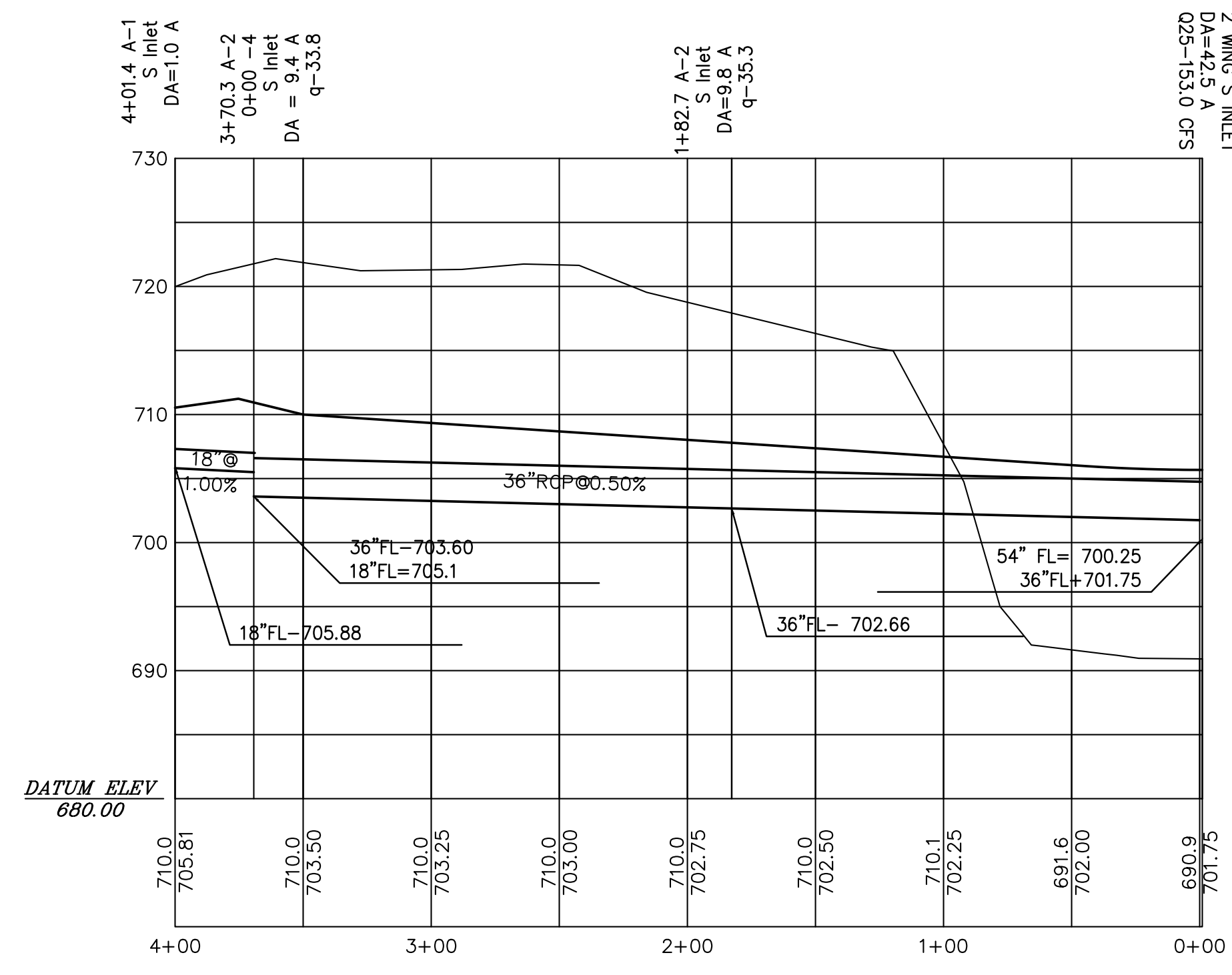


PROJECT STORM A-1 PLAN AND PROFILE 0+00 TO 11+00
CLAIRMONT PHASE VI
Property being situated in the Northeast 1/4
of the Southwest 1/4 of Section 11,
Township 17 South, Range 1 West, Leeds,
St. Clair County, Alabama

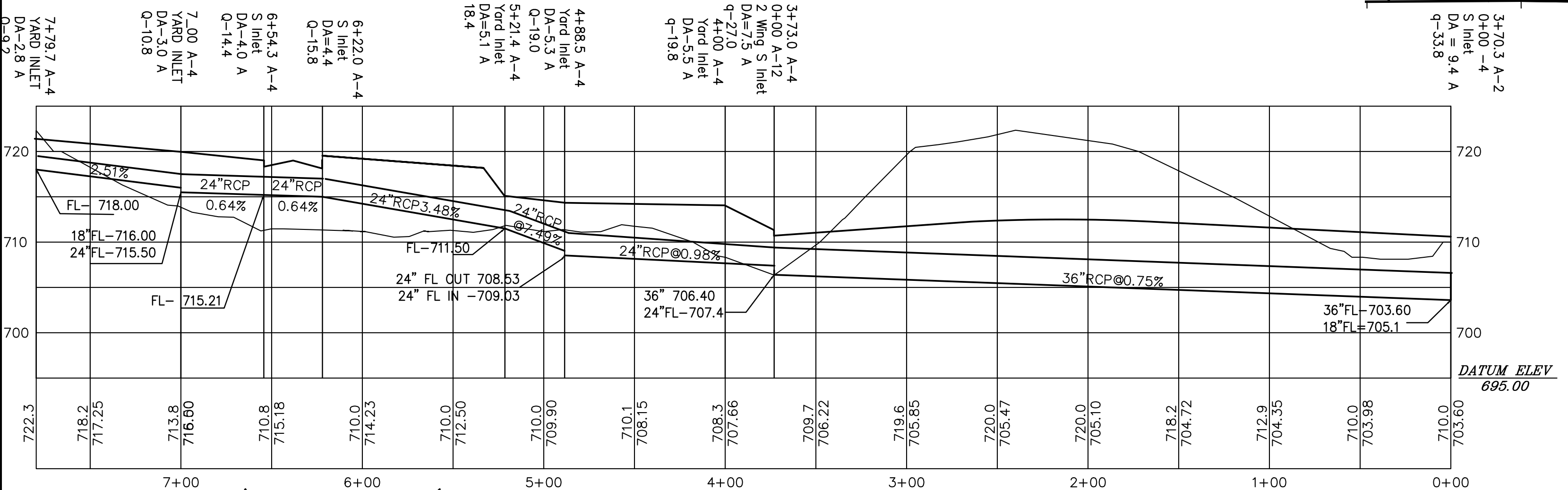
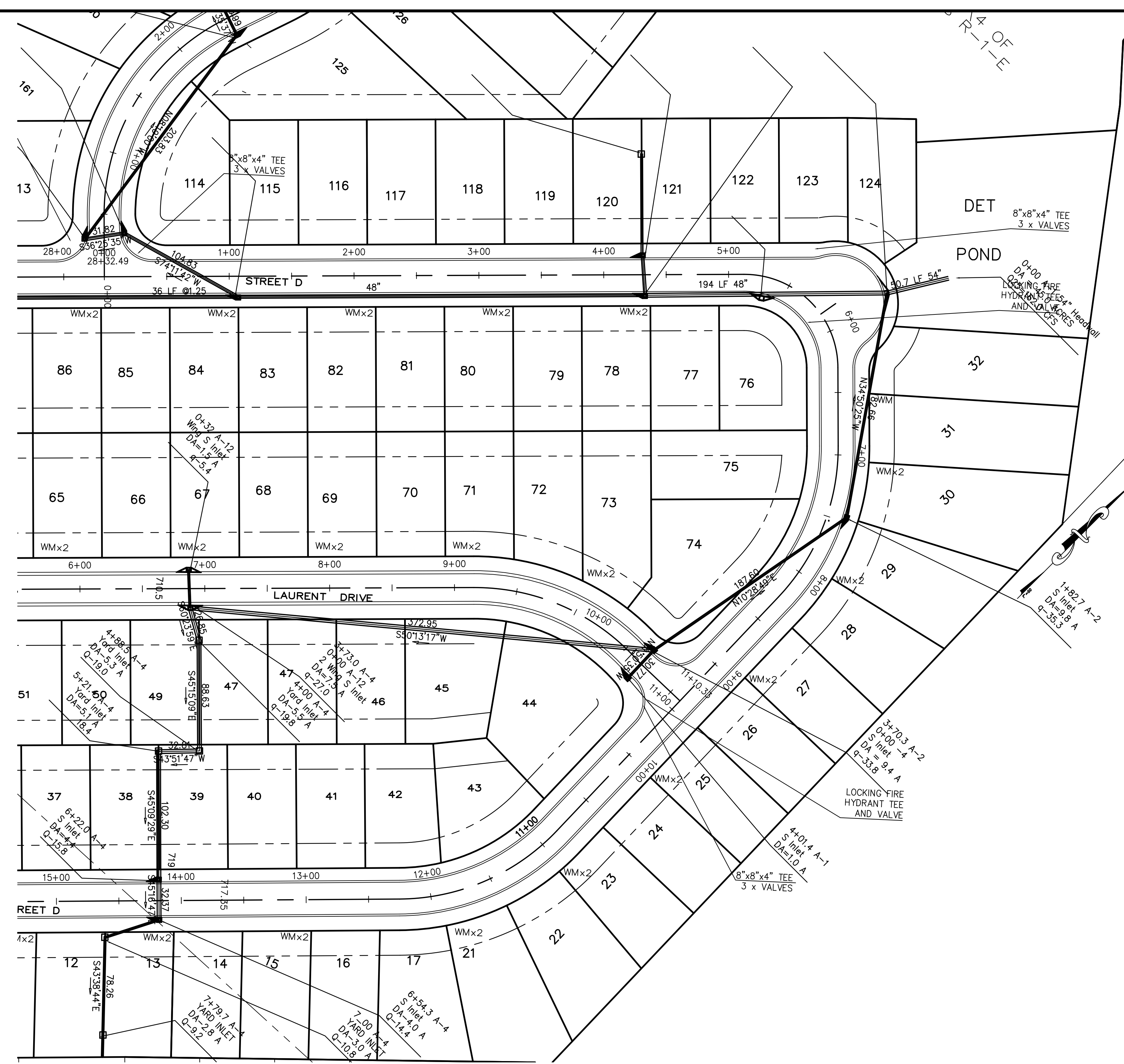


DATE	REVISIONS
8.04.15	rev'd grades

JOB NO.
FILE NAME:AAA PLOTS 1
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11.30.20
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JAM/bsp
CHECKED:
JAM III
SCALE:
1"=50'
SHEET

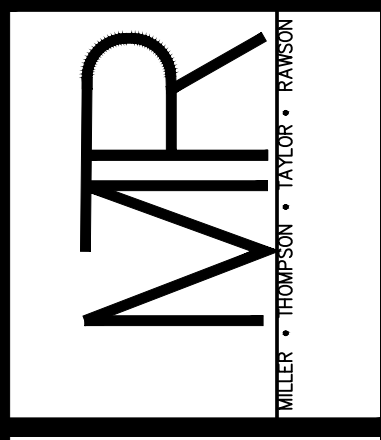


A-2



A-4

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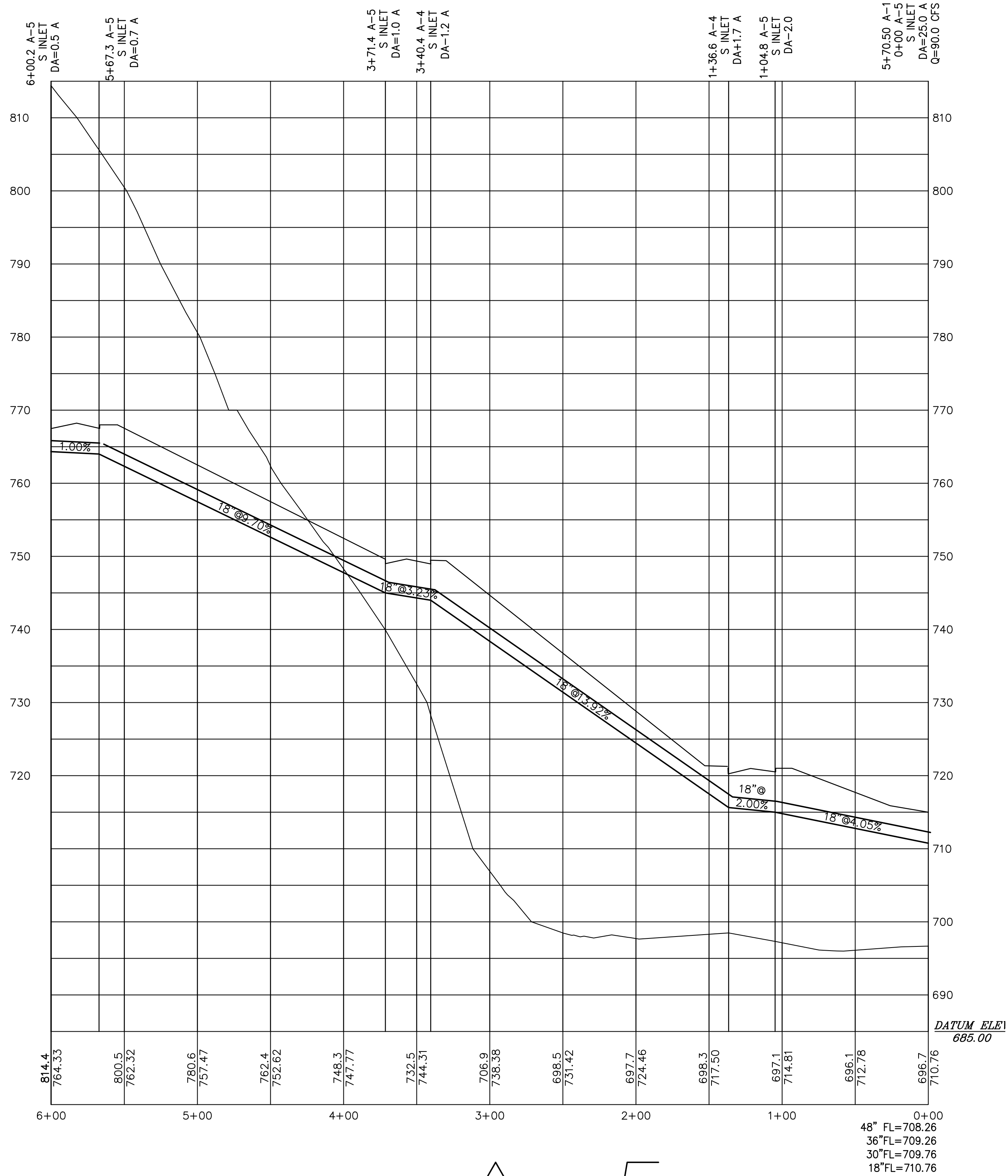


PROJECT
STORM A-2 PLAN AND PROFILE
CLAIMONT PHASE VI
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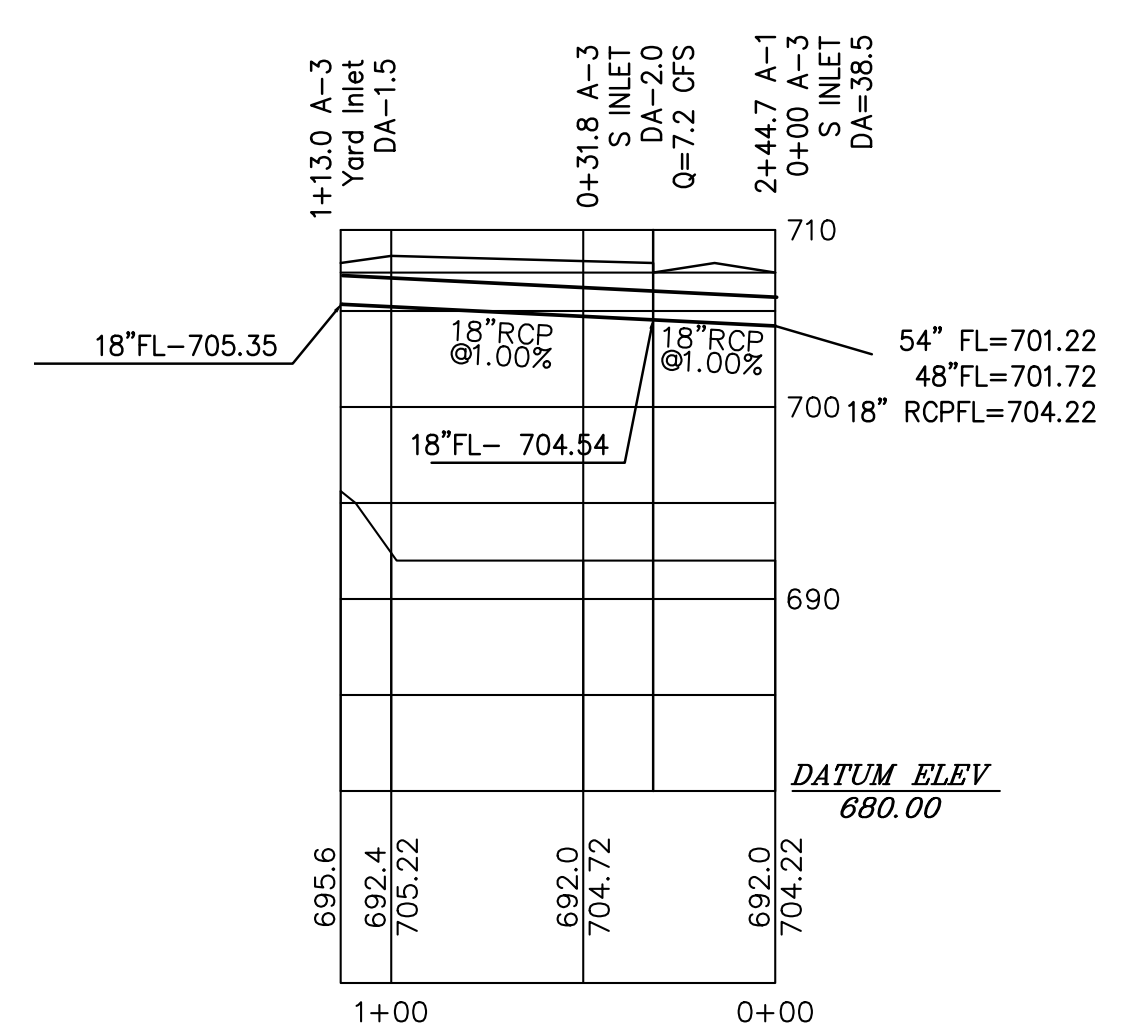


DATE	REVISIONS
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DATE: 11.30.20
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CHECKED: JAM III
SCALE: 1"=50'
SHEET



A-5



A-3

ACREAGE DEED BOOK 1997 PAGE 3152
THIS SUBDIVISION
NE 1/4 OF THE SW 1/4 OF SECTION 11 T-17-S R-1-E

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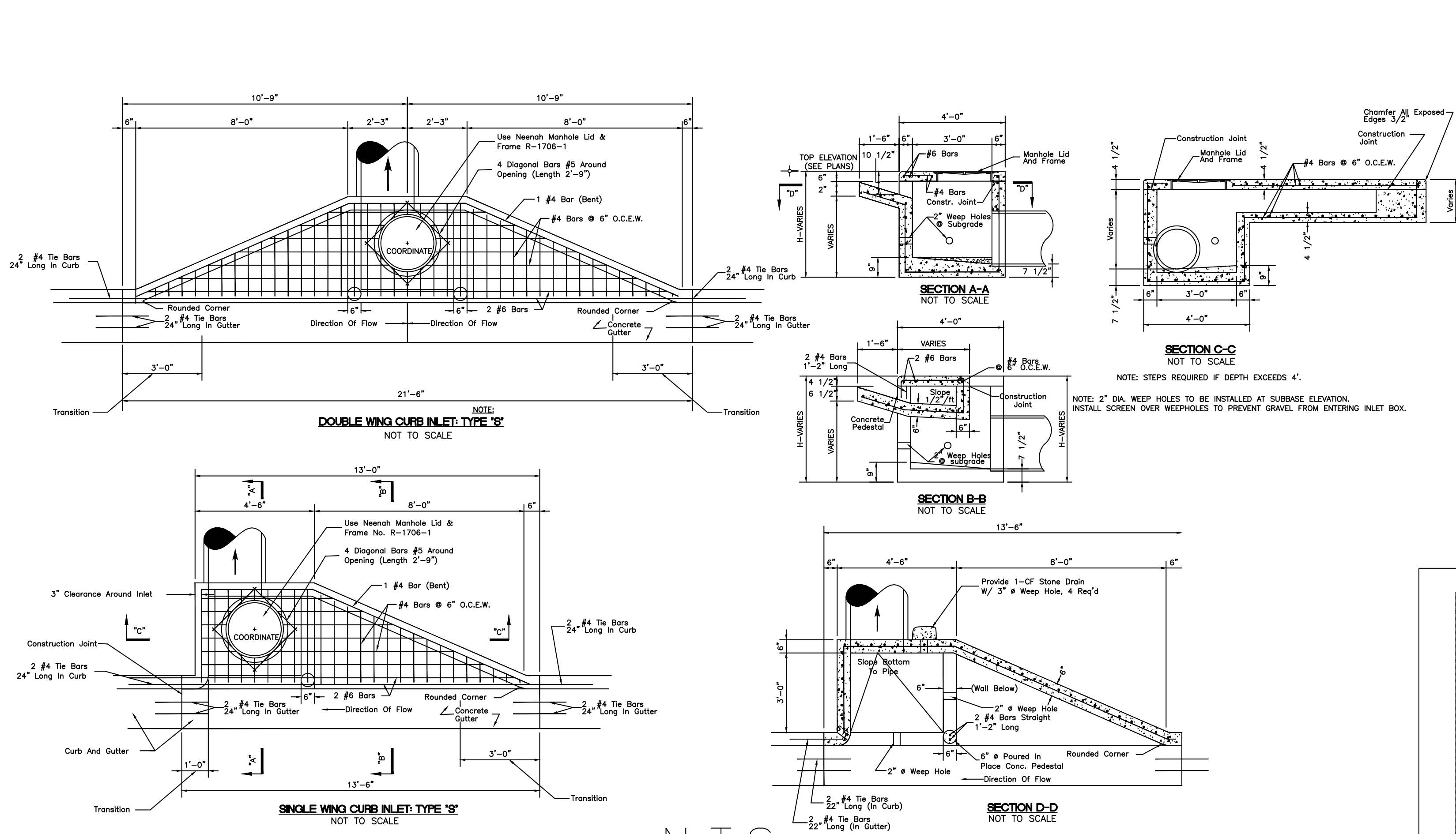
MTR
MILLER • HENDERSON • TAYLOR • WARD

PROJECT
STORM A-3 & A-5 PLAN AND PROFILE
CLAIMONT PHASE VI
Property being situated in the Northeast 1/4 of the Southwest 1/4 of Section 11, Township 17 South, Range 1 West, Leeds, St. Clair County, Alabama

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FILE NAME:AAA PLOTS \ CLAIMONT PARK LEEDS
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SCALE: 1"=50'
SHEET

13

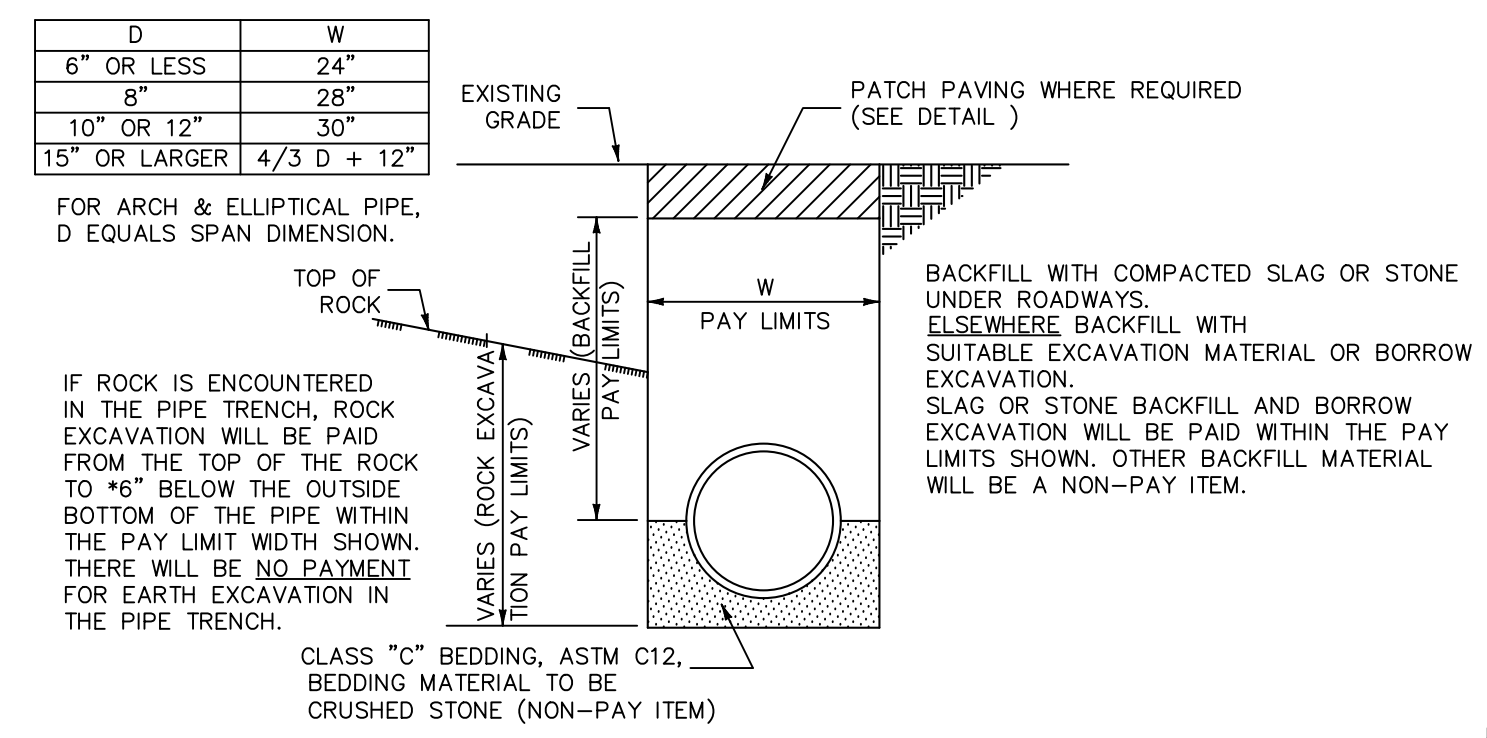
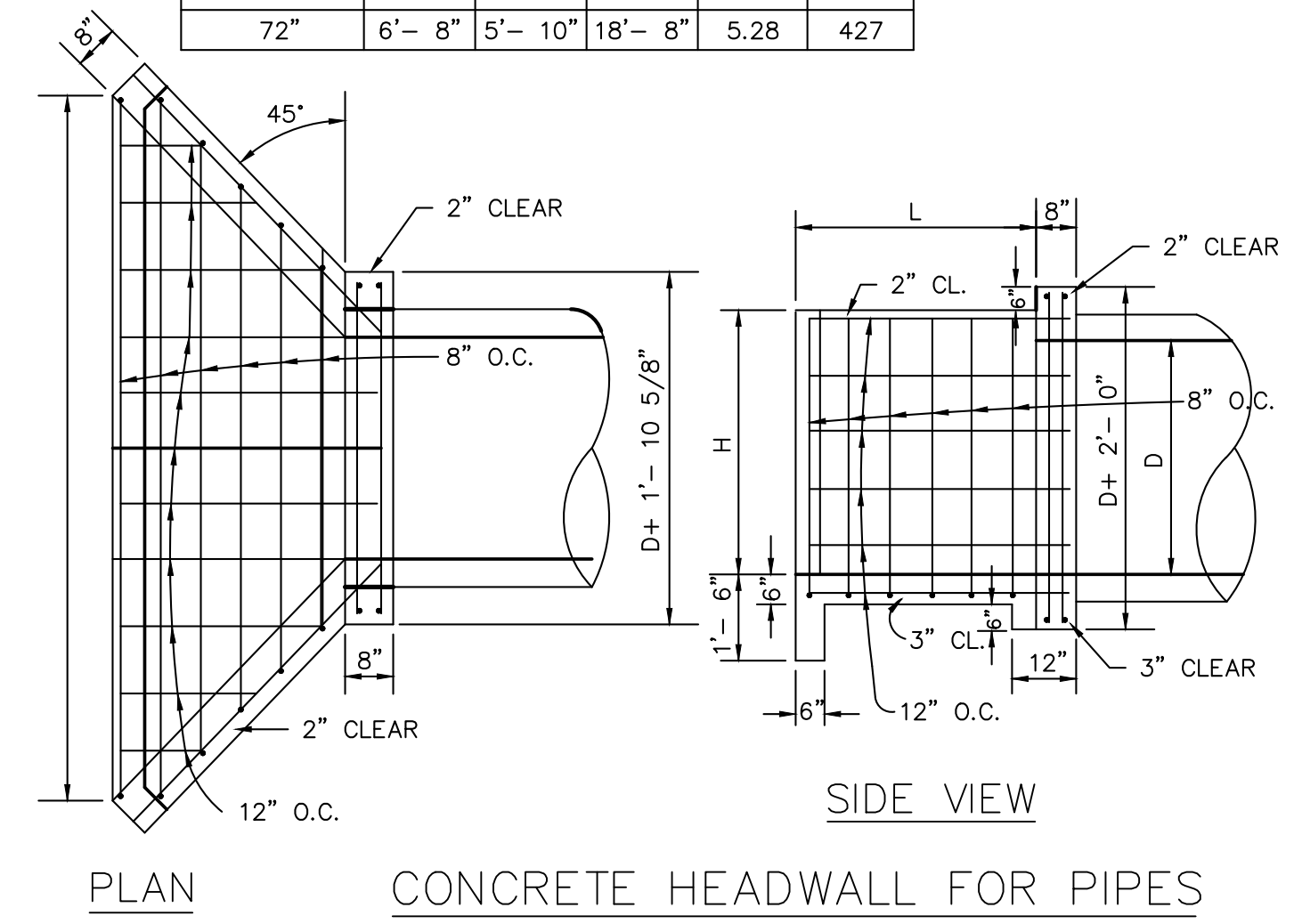


"S" INLET DETAIL

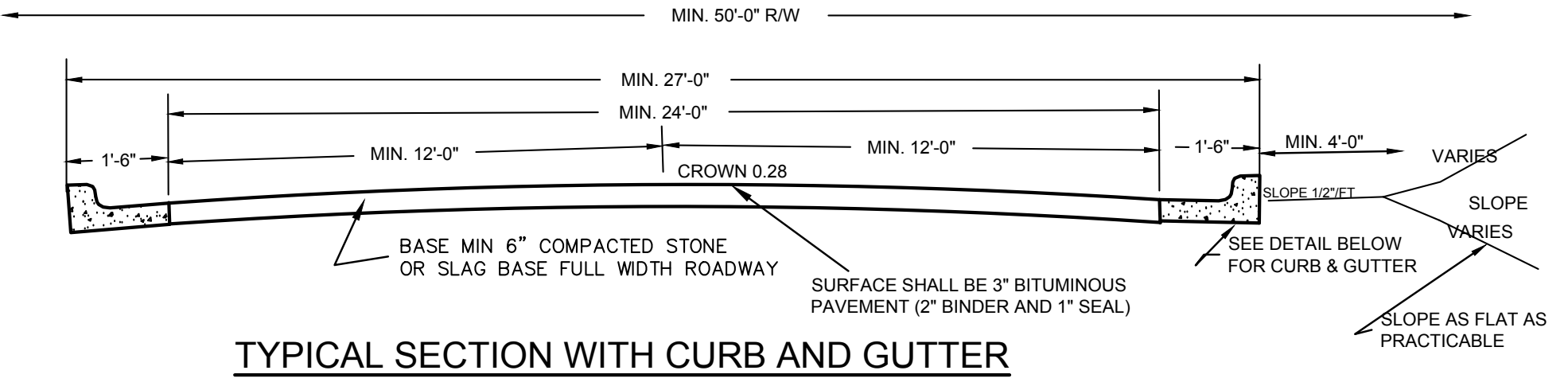
N.T.S.

PIPE DIAMETER	DIMENSION				QUANTITY	
	D	H*	L	W	CONC. (C.Y.)	STEEL (LBS.)
18"	2'-0"	2'-4"	6'-2"	2'	.91	66
24"	2'-6"	2'-4"	6'-8"	2'	1.06	78
30"	3'-0"	2'-4"	7'-2"	2'	1.21	85
36"	3'-6"	2'-10"	8'-8"	2'	1.59	115
42"	4'-0"	3'-4"	10'-2"	2'	2.02	140
48"	4'-6"	3'-10"	11'-8"	2'	2.51	175
54"	5'-0"	4'-4"	13'-2"	2'	3.05	210
60"	5'-0"	4'-10"	15'-8"	2'	3.69	255
66"	6'-0"	5'-4"	16'-2"	2'	4.34	304
72"	6'-8"	5'-10"	18'-8"	2'	5.28	427

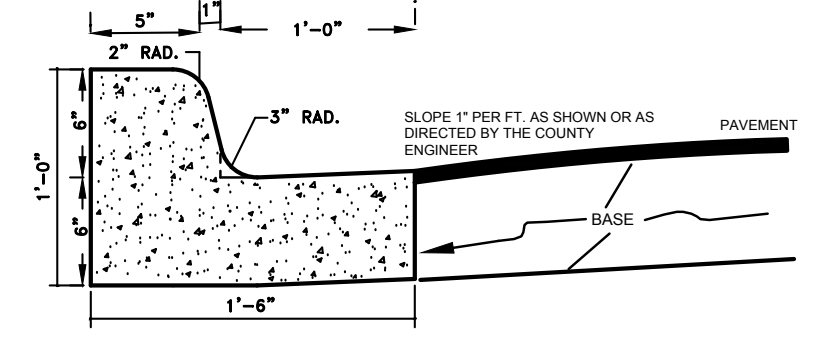
VERTICAL REINFORCING BARS ARE #5'S FOR 72" PIPE
 REINFORCING BARS ARE #4'S.



ROCK EXCAVATION + BACKFILL PAY LIMITS



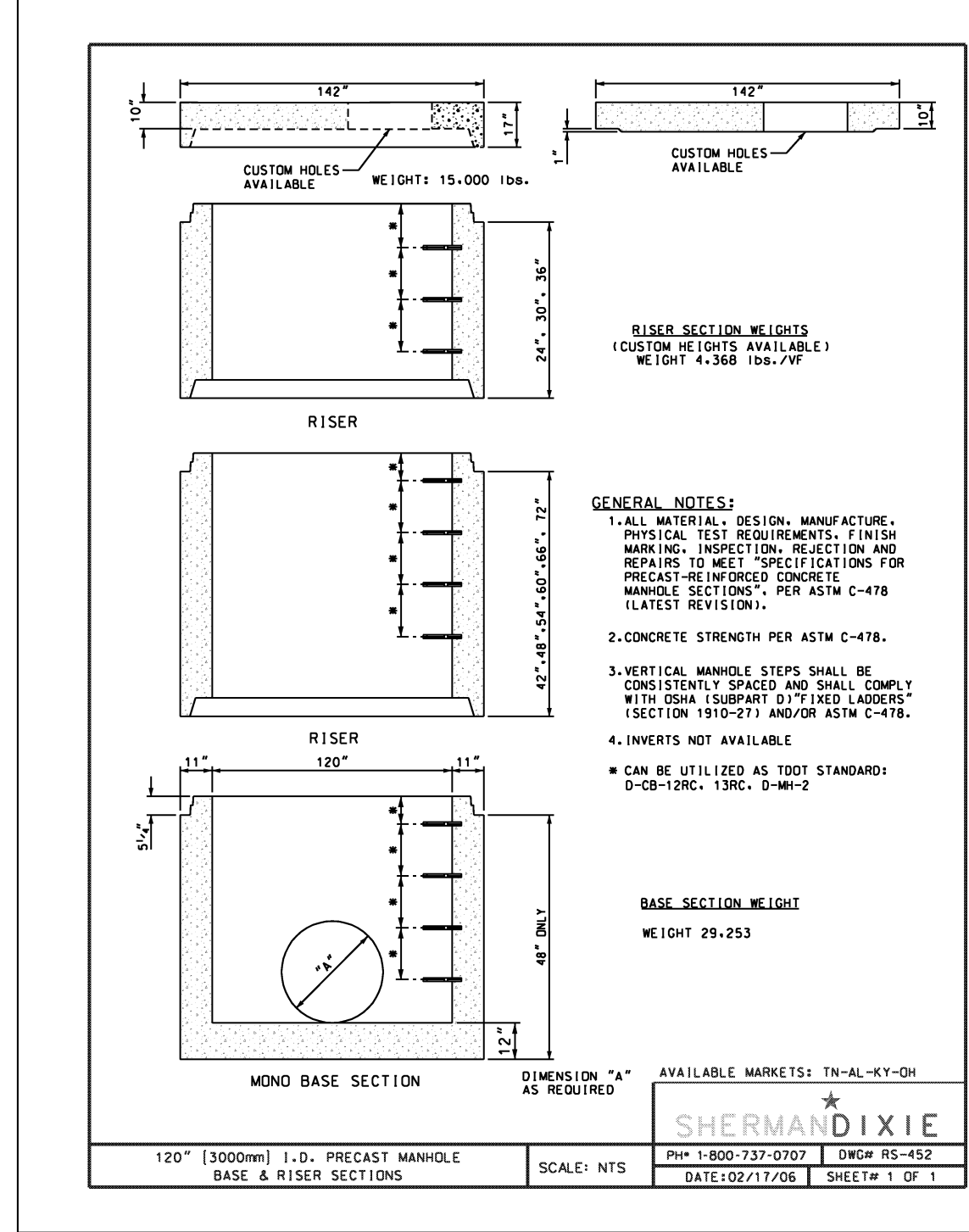
TYPICAL SECTION WITH CURB AND GUTTER



1' CONCRETE COMBINED CURB & GUTTER

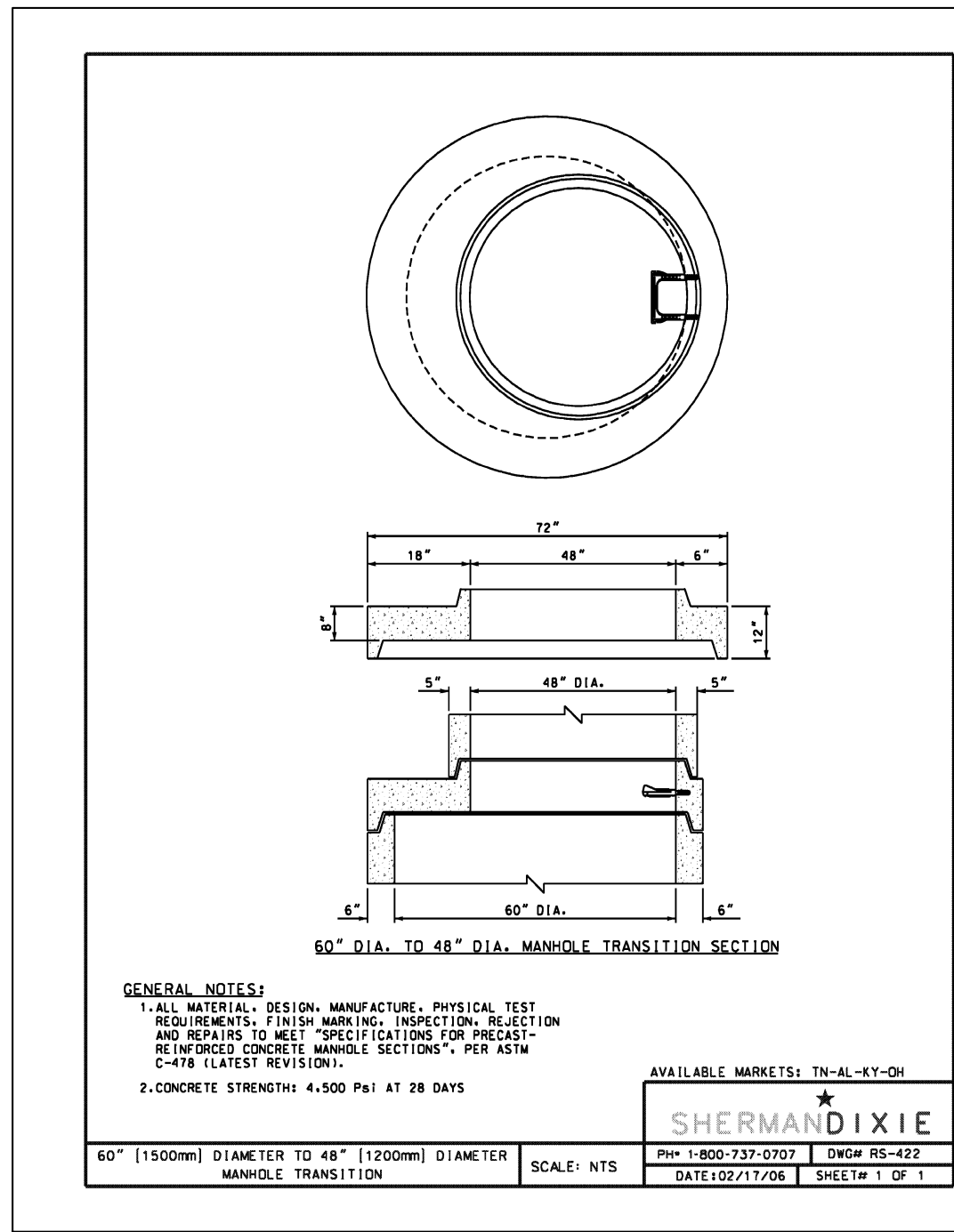
GENERAL NOTES FOR CURB AND CURB AND GUTTER

- EXPANSION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT.
- EXPANSION JOINTS 3/4 INCH WIDE SHALL BE PLACED WHERE CURB AND/OR GUTTER TERMINATES AGAINST RIGID OBJECTS.
- EXPANSION JOINT FILLER AND SEALER SHALL MEET THE REQUIREMENTS OF ARTICLES 832.01 AND 832.02. EXPANSION JOINT FILLER SHALL EXTEND FROM THE BOTTOM OF THE CURB AND/OR GUTTER TO WITHIN ONE INCH OF THE TOP. THE SEALER SHALL BE 3/4 INCH THICK AND SHALL BE RECESSED 1/4 INCH FROM THE TOP.
- CONTRACTION JOINTS SHALL BE PLACED IN CURB AND/OR GUTTER TO MATCH THOSE IN CONCRETE PAVEMENT WHERE THE TWO ARE ADJACENT, BUT IN NO INSTANCE MORE THAN 20 FEET BETWEEN JOINTS. THE CONTRACTION JOINTS SHALL BE SAWS OR OTHERWISE CUT 2 INCHES DEEP BY 1/8 INCH WIDE AND SHALL EXTEND 2 INCHES BELOW THE PAVEMENT SURFACE.
- CONTRACTOR MAY BE PERMITTED TO EXCEED MIN. CURB HEIGHT IN ORDER TO PLACE CURB ON BASE LAYER, IF HE SO DESIRES.



STORM MANHOLE

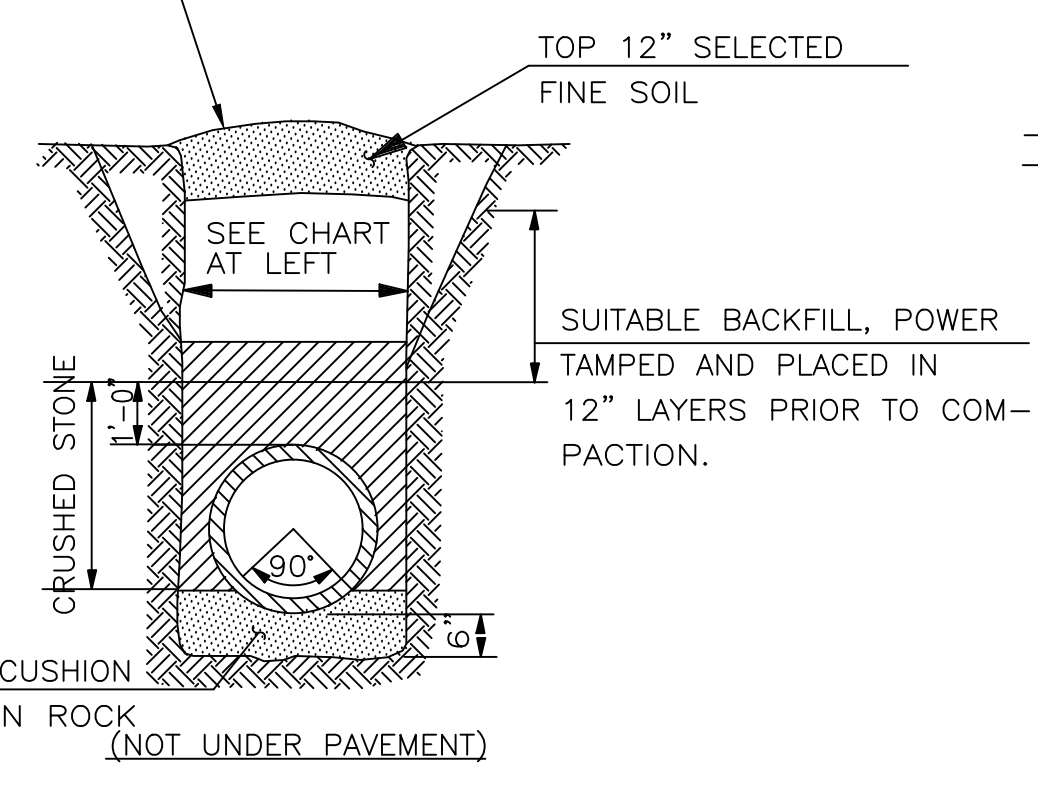
N.T.S.
 USE SHERMAN DIXIE OR APPROVED EQUAL.



NOTE:

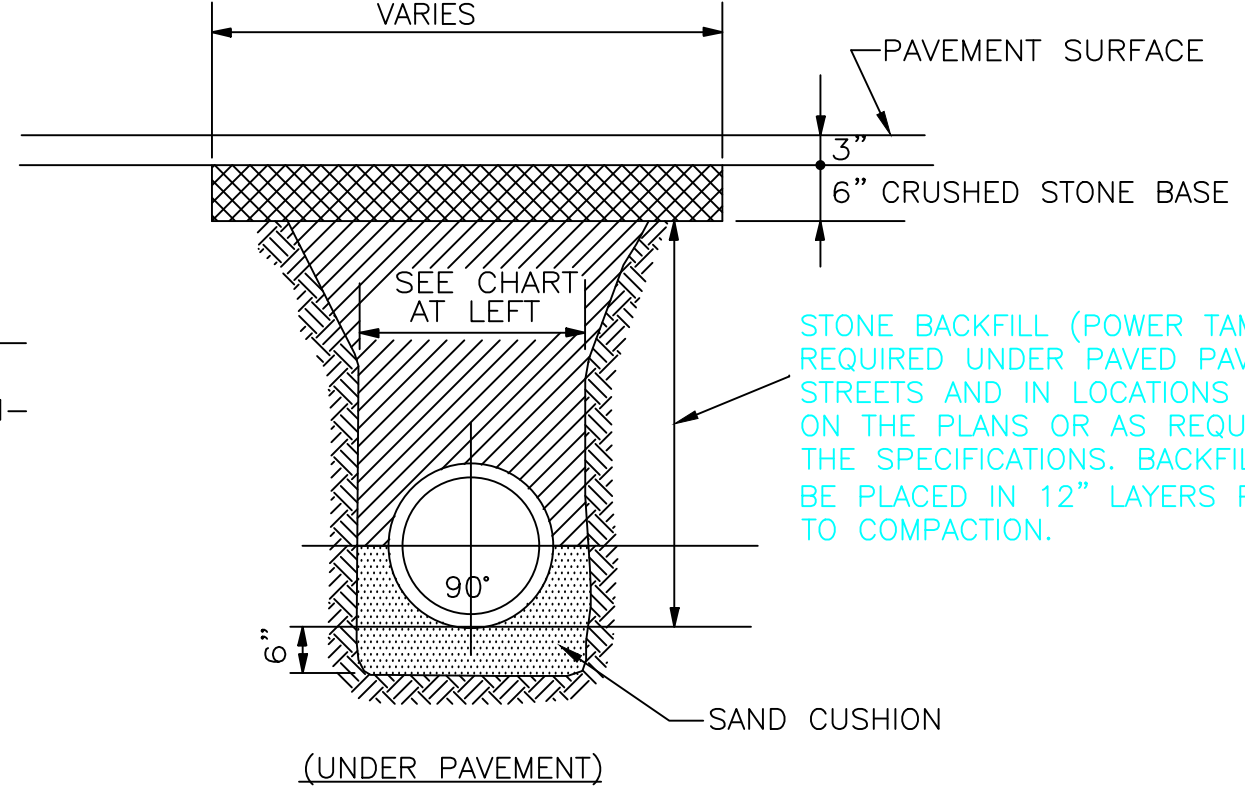
PRE CAST REINFORCED CONCRETE MANHOLES COMPLYING WITH ASTM SPEC. C-478-64T MUST BE USED. RISER SECTIONS OF PRECAST MANHOLES SHALL HAVE AN INSIDE DIAMETER OF 48".

UNLESS IN ESTABLISHED YARD, CONTRACTOR TO HEAP BACKFILL OVER TRENCH WIDTH TO ALLOW FOR SETTLEMENT. IF IN ESTABLISHED YARD, BACKFILL TO MATCH EXISTING ELEVATION.



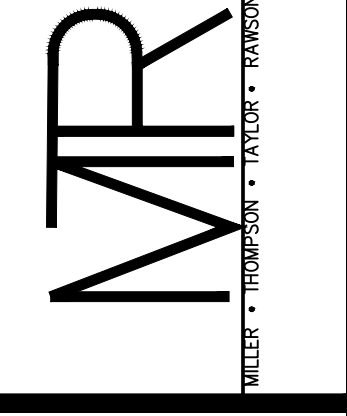
TRENCH BACKFILL DETAILS

(EXCEPT SAN. SEWER SEE SHEET 10)

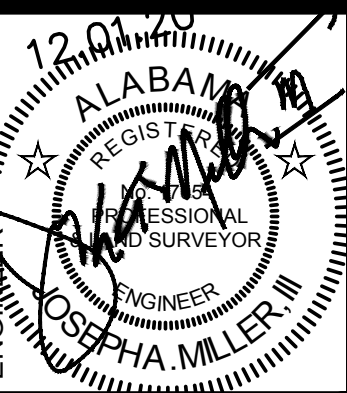


STONE BACKFILL (POWER TAMPED) REQUIRED UNDER PAVED STREETS AND IN LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED BY THE SPECIFICATIONS. BACKFILL TO BE PLACED IN 12" LAYERS PRIOR TO COMPACTION.

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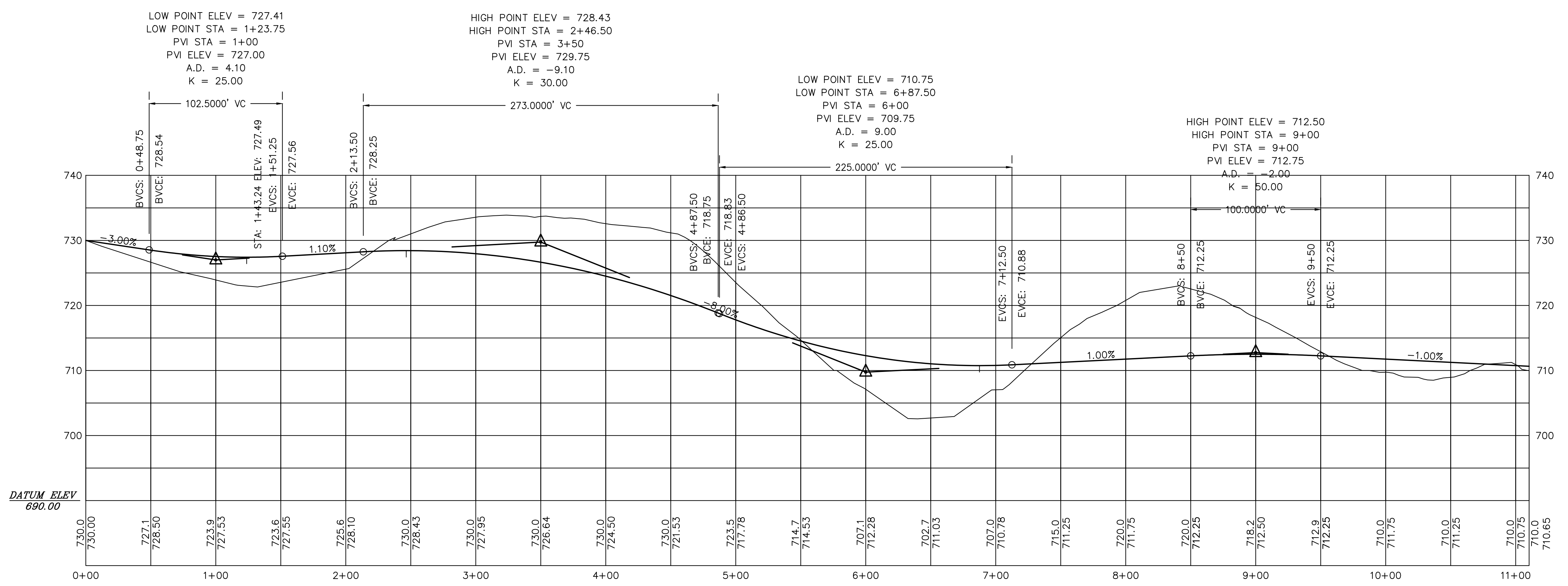
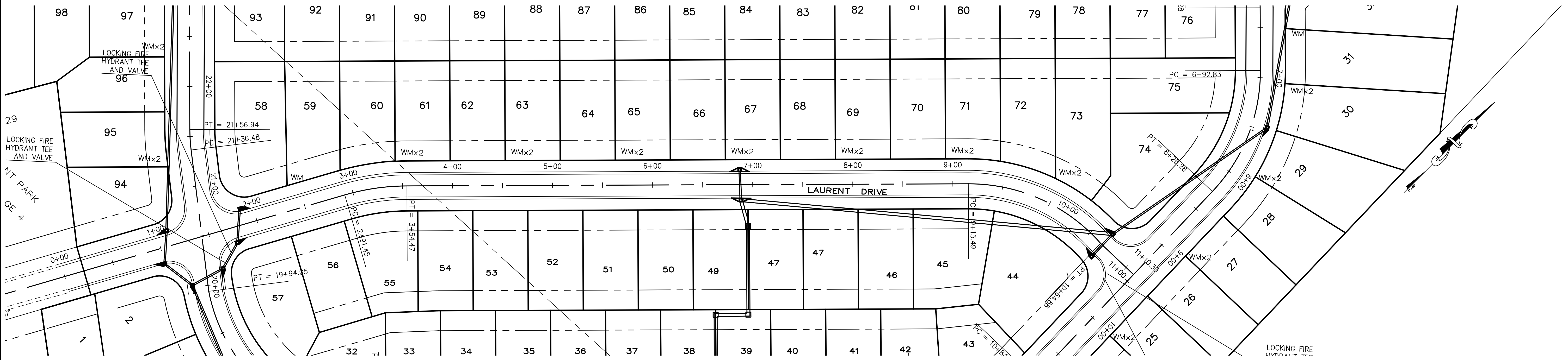


STANDARD DETAILS
CLAIMMONT PHASE VI
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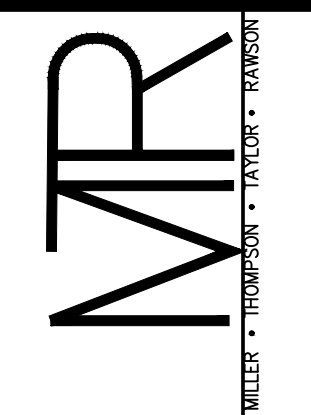


REVISIONS	DATE	JOB NO.

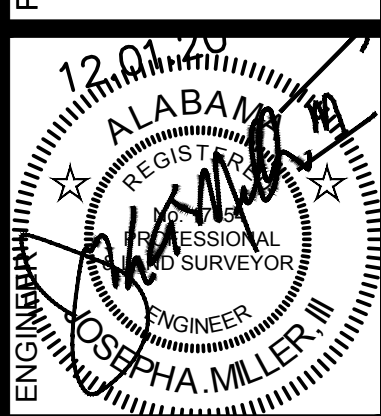
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 CLAIMMONT PARK LEEDS
 DATE: 12.01.20
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 CHECKED: JAM III
 SCALE: nts
 SHEET



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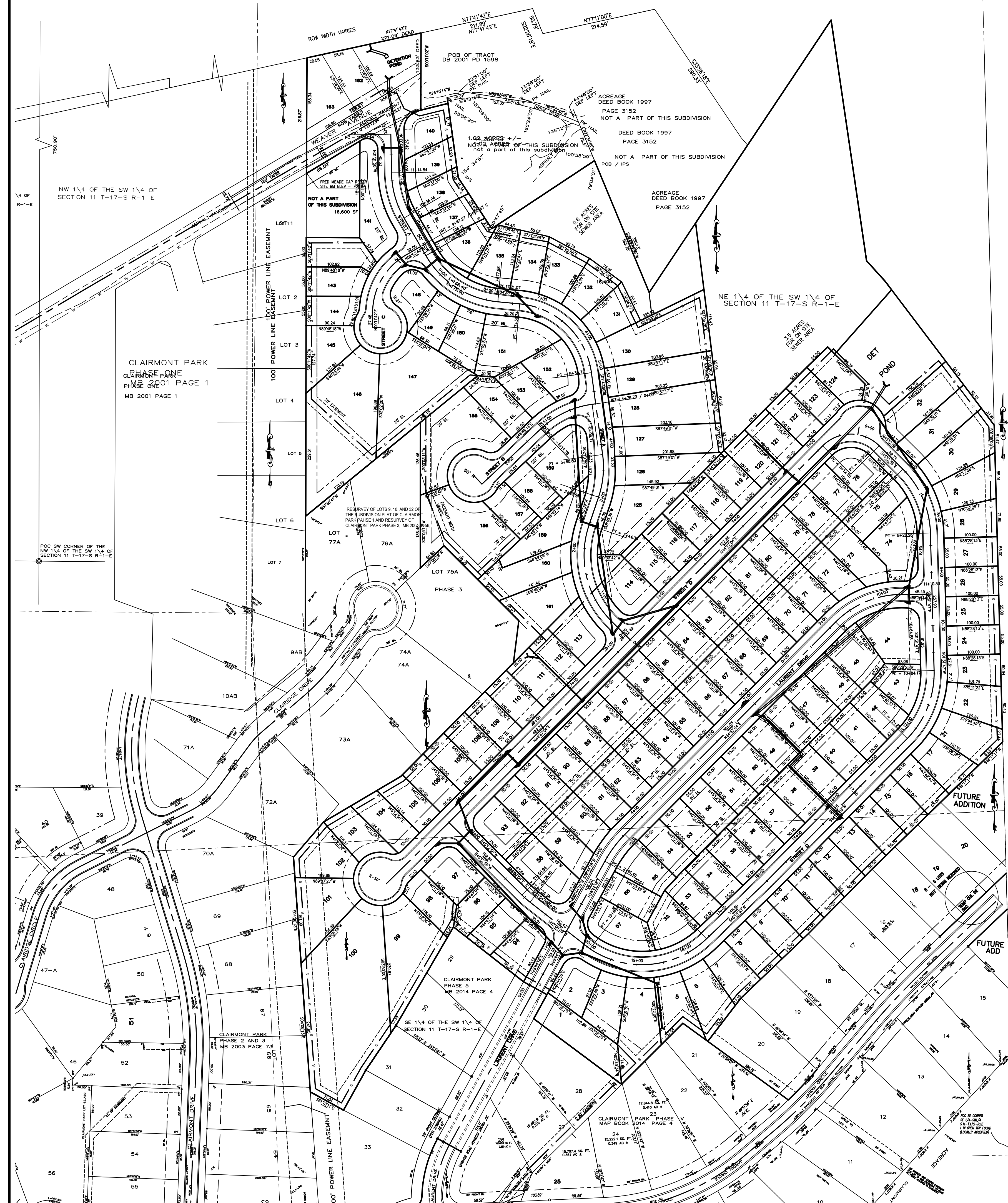


PROJECT
 LAURENT DRIVE PLAN AND PROFILE
CLAIRMONT PHASE VI
 Property being situated in the Northeast 1/4
 of the Southwest 1/4 of Section 11,
 Township 17 South, Range 1 West, Leeds,
 St. Clair County, Alabama

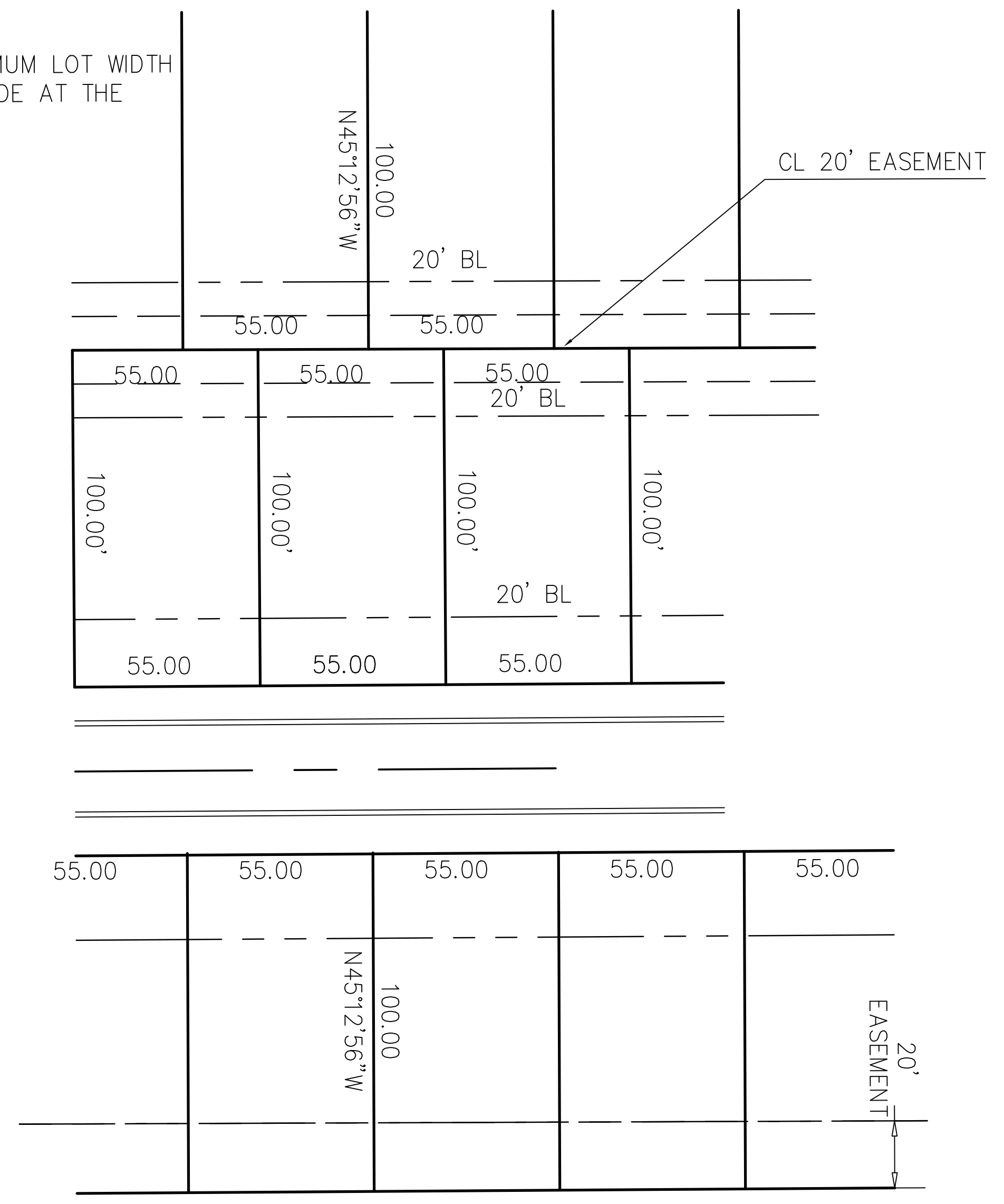


DATE	REVISIONS
8.04.15	rev'd grades

JOB NO.	
FILE NAME:AAA PLOTS \	
CLAIMONT PARK LEADS	
DATE:	11.30.20
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SCALE:	1"=50'
SHEET	

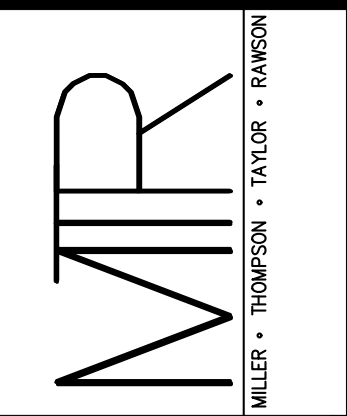


R-6 LOT, MINIMUM LOT WIDTH WILL BE 55' WIDE AT THE BUILDING LINE.

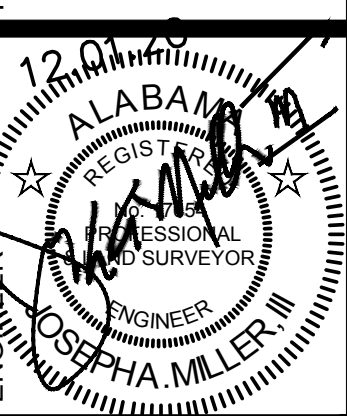


All easements shown on this map are for public utilities, storm sewers, sanitary sewers, open storm sewer ditches and may be used for such purposes to serve both within and without this subdivision.
 20' Easement along all rear property lines, centered within subdivision, 20' on outside lots.

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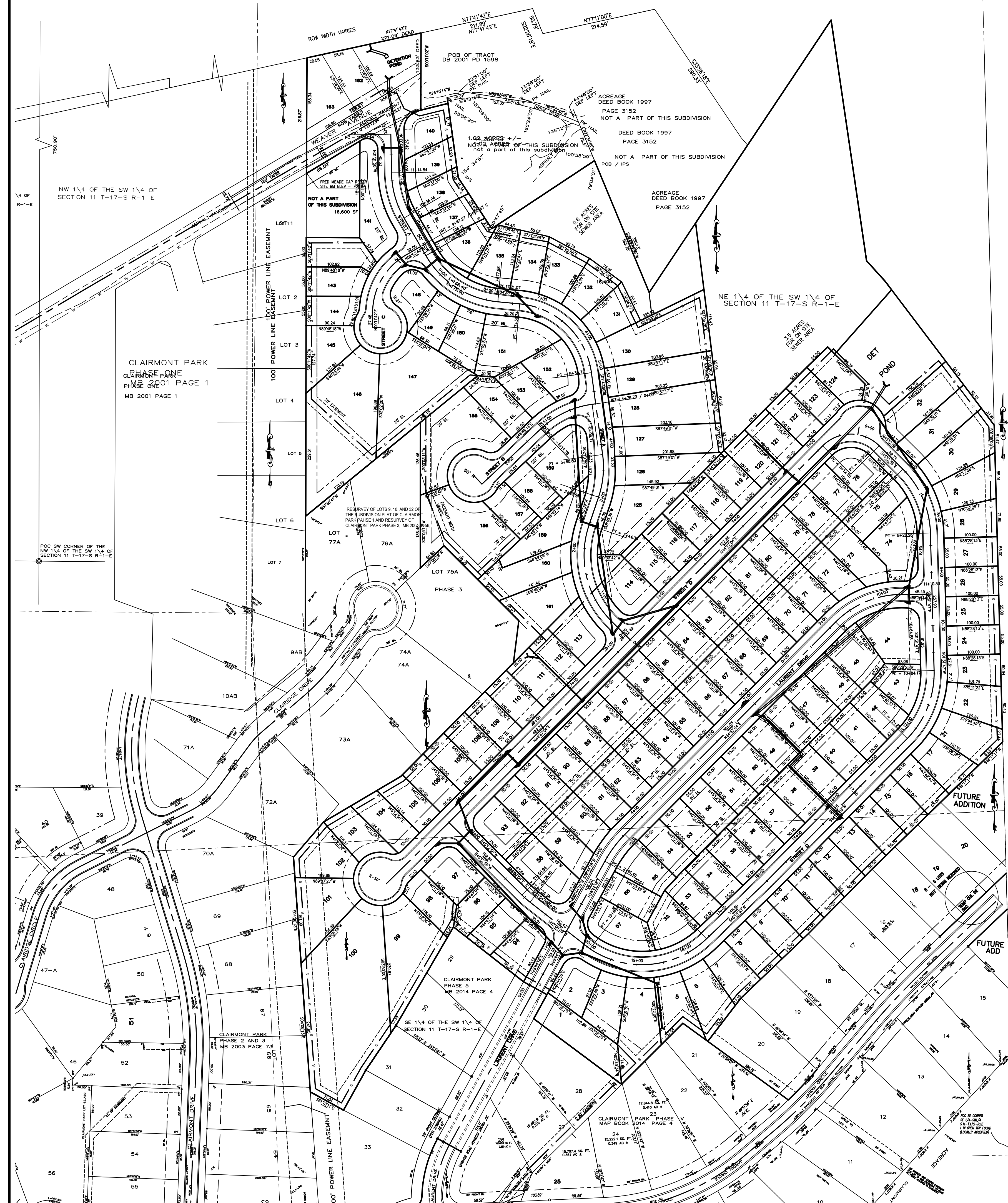


Preliminary Plan for
CLAIRMONT PARK PHASE VI
 Property being situated in the
 Southeast 1/4 of the
 Southwest 1/4 of Section 11,
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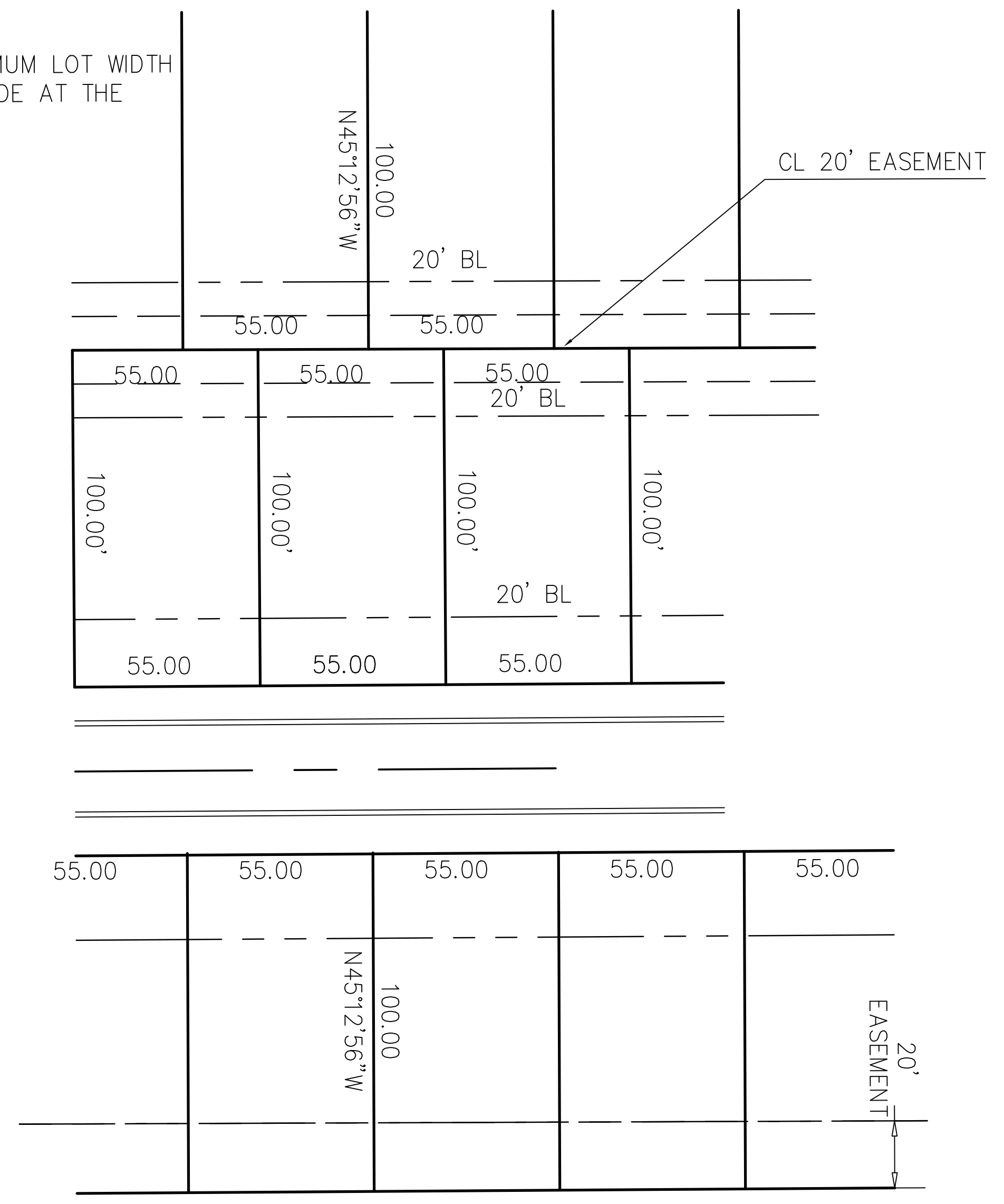


REVISIONS	DATE

JOB NO.:
 FILE NAME: AAA PLOTS \
 CLAIRMONT PARK LEEDS
 DATE:
 NOVEMBER 11th, 2020
 DRAWN:
 JAM/bsp
 CHECKED:
 JAM III
 SCALE:
 1" = 100.00'
 SHEET

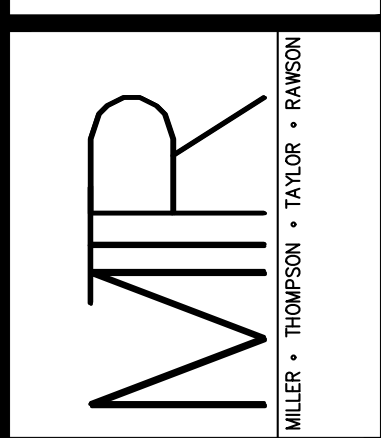


R-6 LOT, MINIMUM LOT WIDTH WILL BE 55' WIDE AT THE BUILDING LINE.

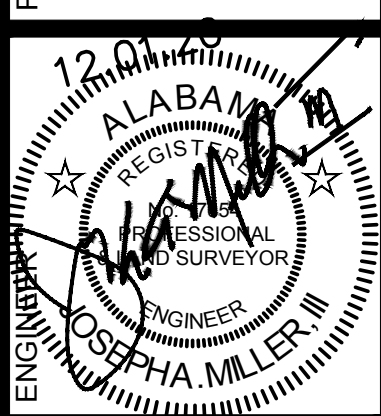


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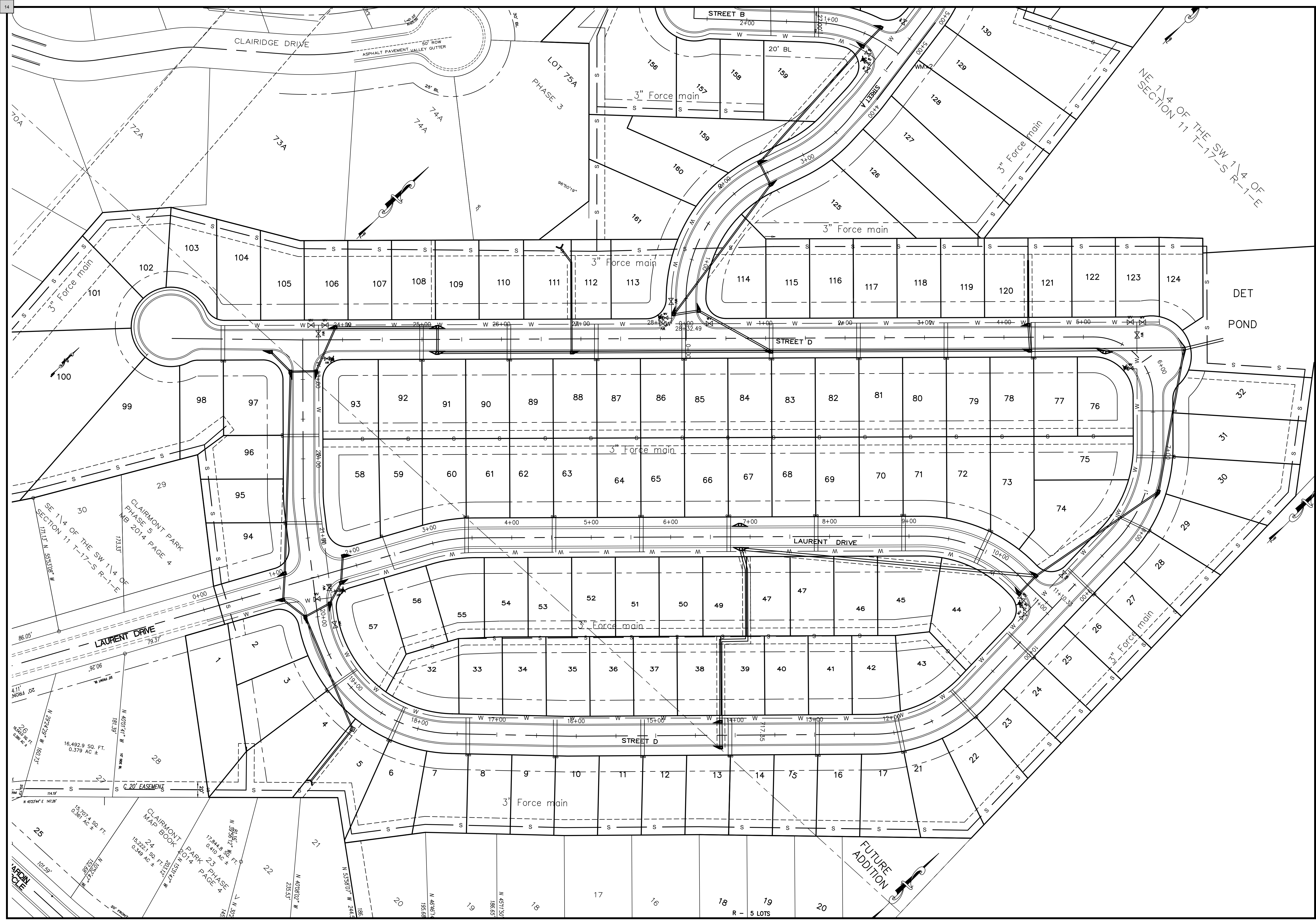


Preliminary Plan for
CLAIRMONT PARK PHASE VI
 Property being situated in the
 Southeast 1/4 of the
 Southwest 1/4 of Section 11,
 Township 17 South, Range 1 West, Leeds,
 Leeds, St. Clair County, Alabama

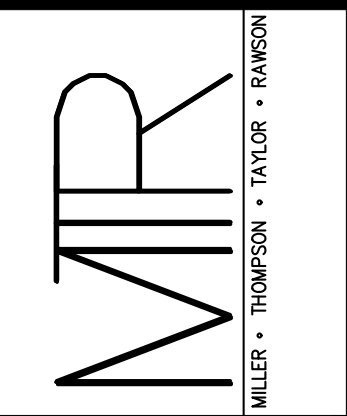


REVISIONS	DATE

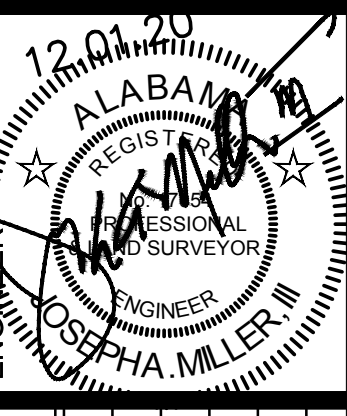
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 DATE:
 NOVEMBER 11th, 2020
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 CHECKED:
 JAM III
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SEWER PLAN
CLAIRMONT PARK PHASE VI
 Property being situated in the
 Southeast 1/4 of the
 Southwest 1/4 of Section 11,
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 1" = 100.00'
 SHEET



CLAIRMONT PARK
 PHASE ONE
 MB 2001 PAGE 1

POC SW CORNER OF THE
 NW 1/4 OF THE SW 1/4 OF
 SECTION 11 T-17-S R-1-E

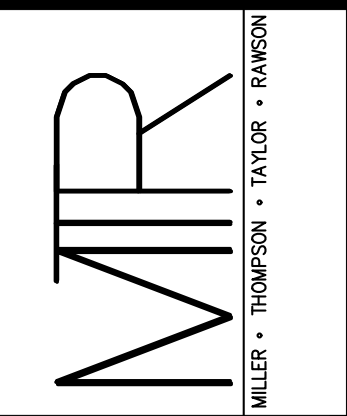
RESURVEY OF LOTS 9, 10, AND 32 OF
 THE SUBDIVISION PLAT OF CLAIRMONT
 PARK PHASE 1 AND RESURVEY OF
 CLAIRMONT PARK PHASE 3, MB 2004 P 56

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 PAGE 3152
 NOT A PART OF THIS SUBDIVISION

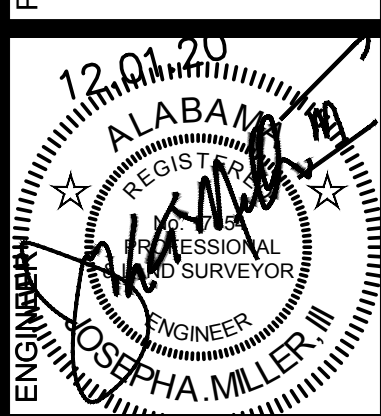
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 PAGE 3152
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NE 1/4 OF THE SW 1/4 OF
 SECTION 11 T-17-S R-1-E

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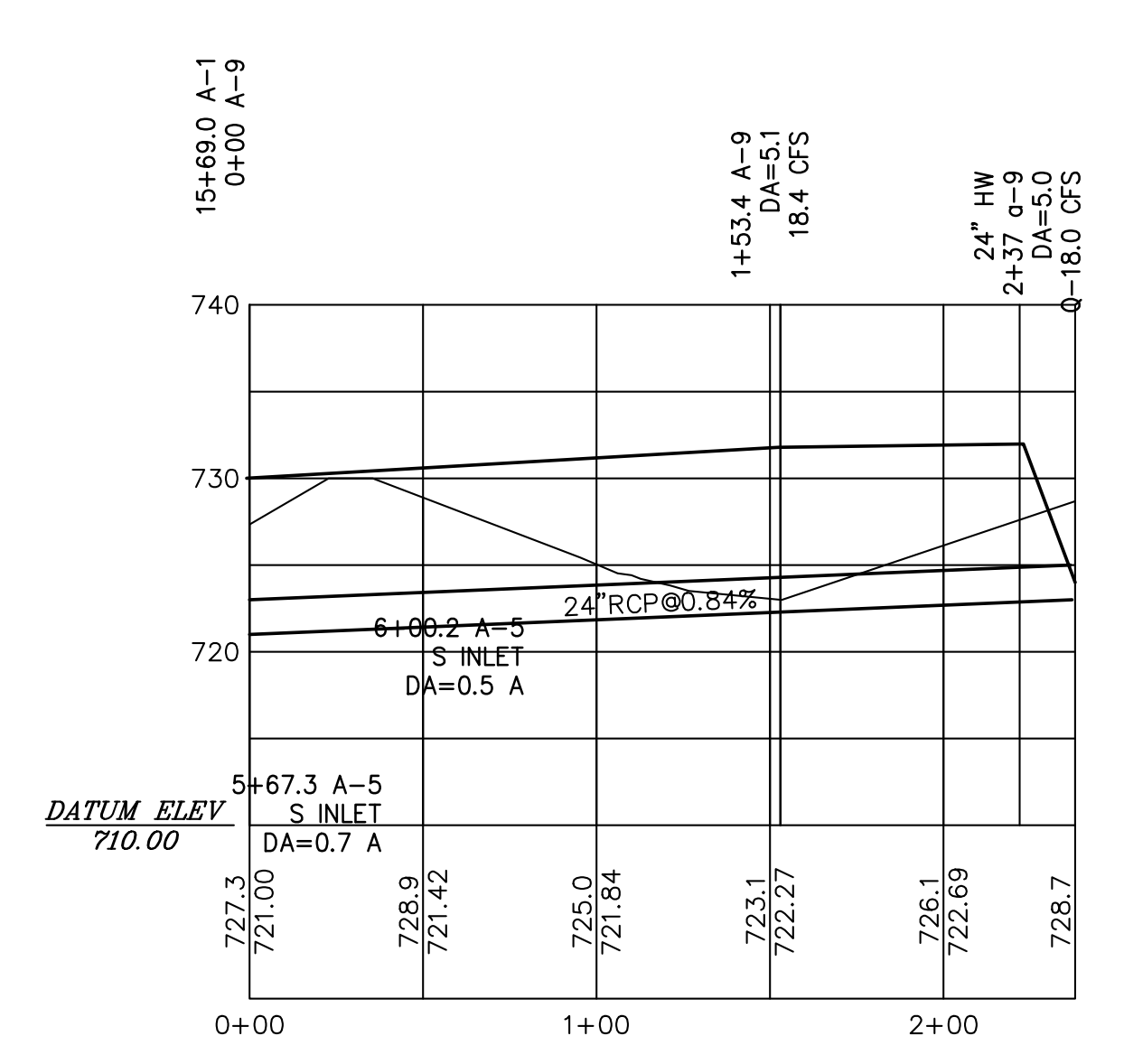
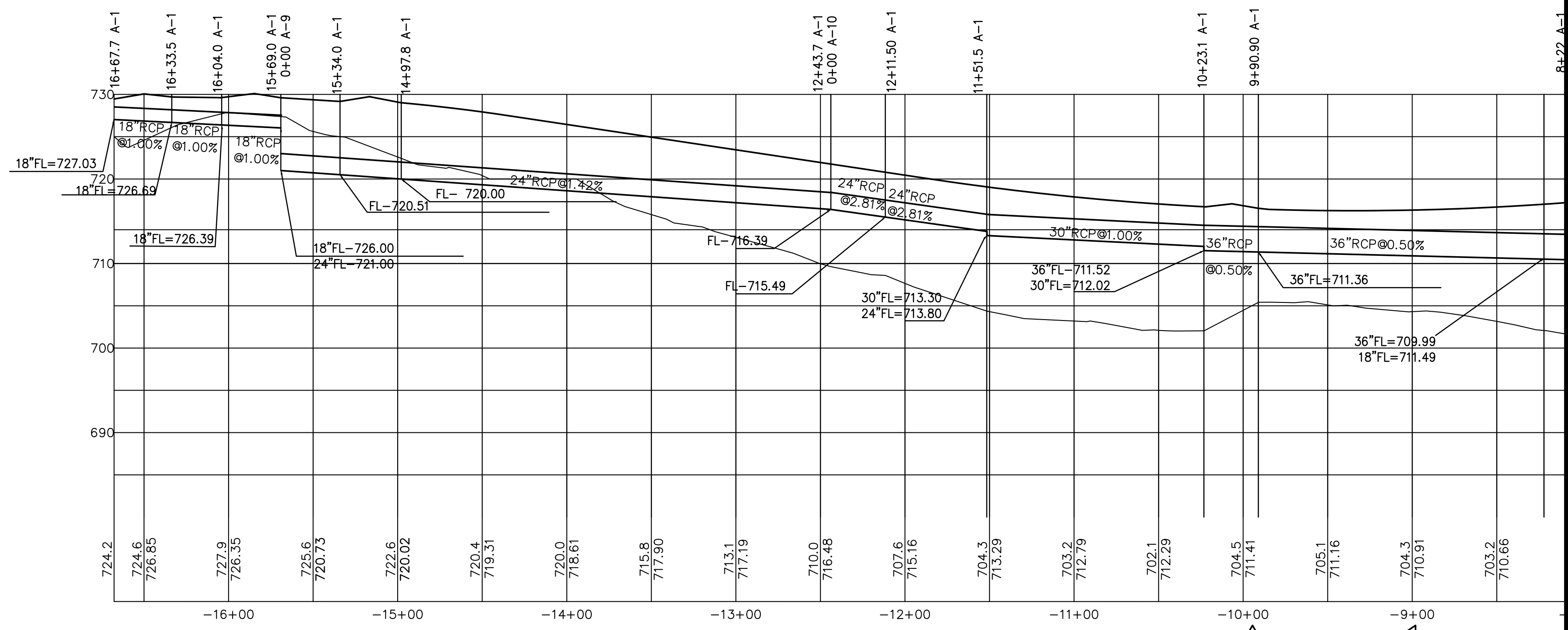
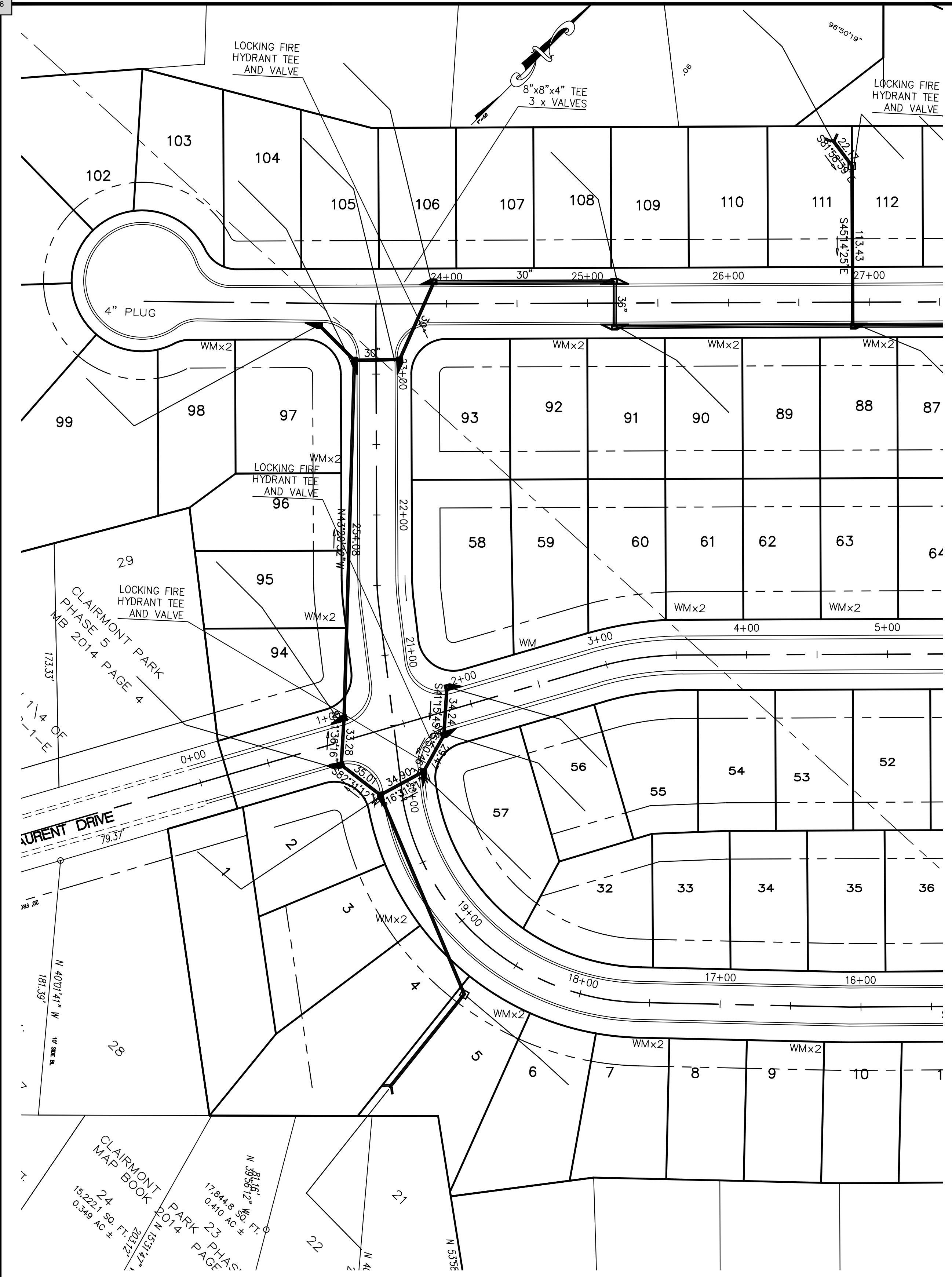


SEWER PLAN
CLAIRMONT PARK PHASE VI
 Property being situated in the
 Southeast 1/4 of the
 Southwest 1/4 of Section 11,
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 Leeds, St. Clair County, Alabama

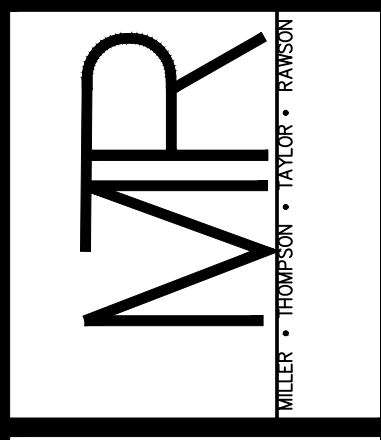


REVISIONS	DATE

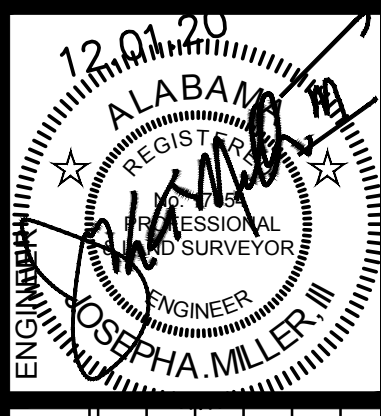
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 FILE NAME:AAA PLOTS 1
 CLAIRMONT PARK LEEDS
 DATE: NOVEMBER 11th, 2020
 DRAWN: JAM/bsp
 CHECKED: JAM III
 SCALE: 1" = 100.00'
 SHEET



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 Hoover, AL 35244
 TELEPHONE (205) 320-0114

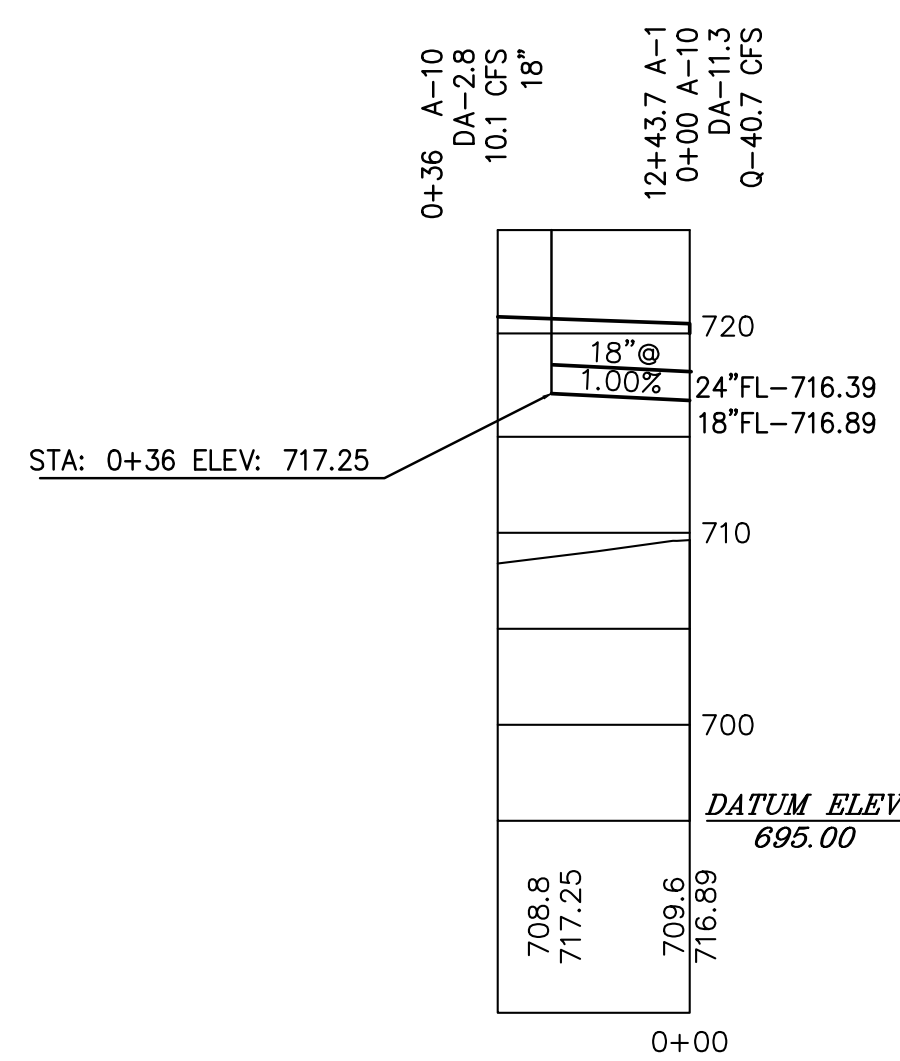
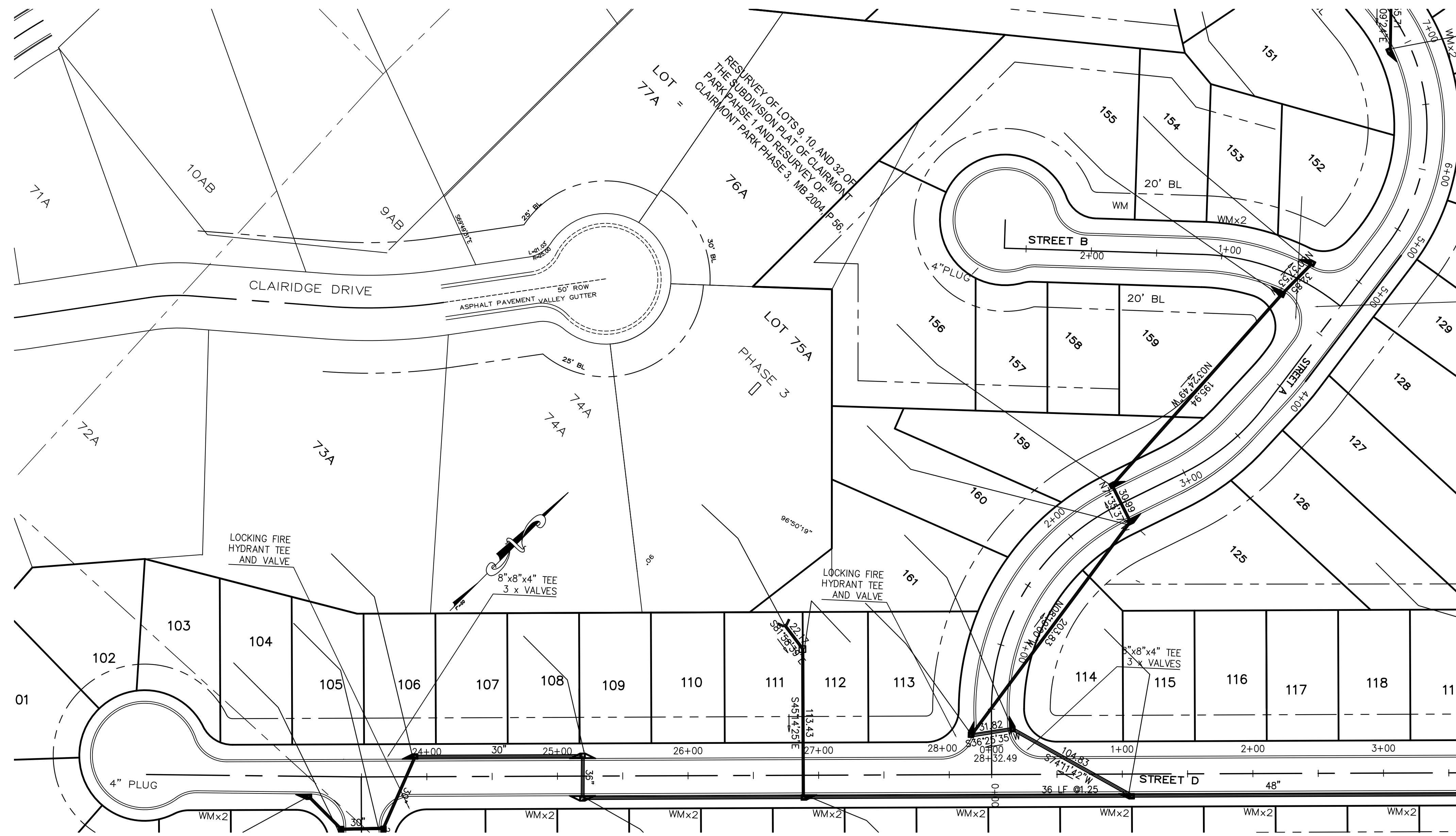


PROJECT
 STORM A-1 PLAN & PROFILE 11+00 TO 16+67.7 & A-9
CLAIRMONT PHASE VI
 Property being situated in the Northeast 1/4
 of the Southwest 1/4 of Section 11,
 Township 17 South, Range 1 West, Leeds,
 St. Clair County, Alabama

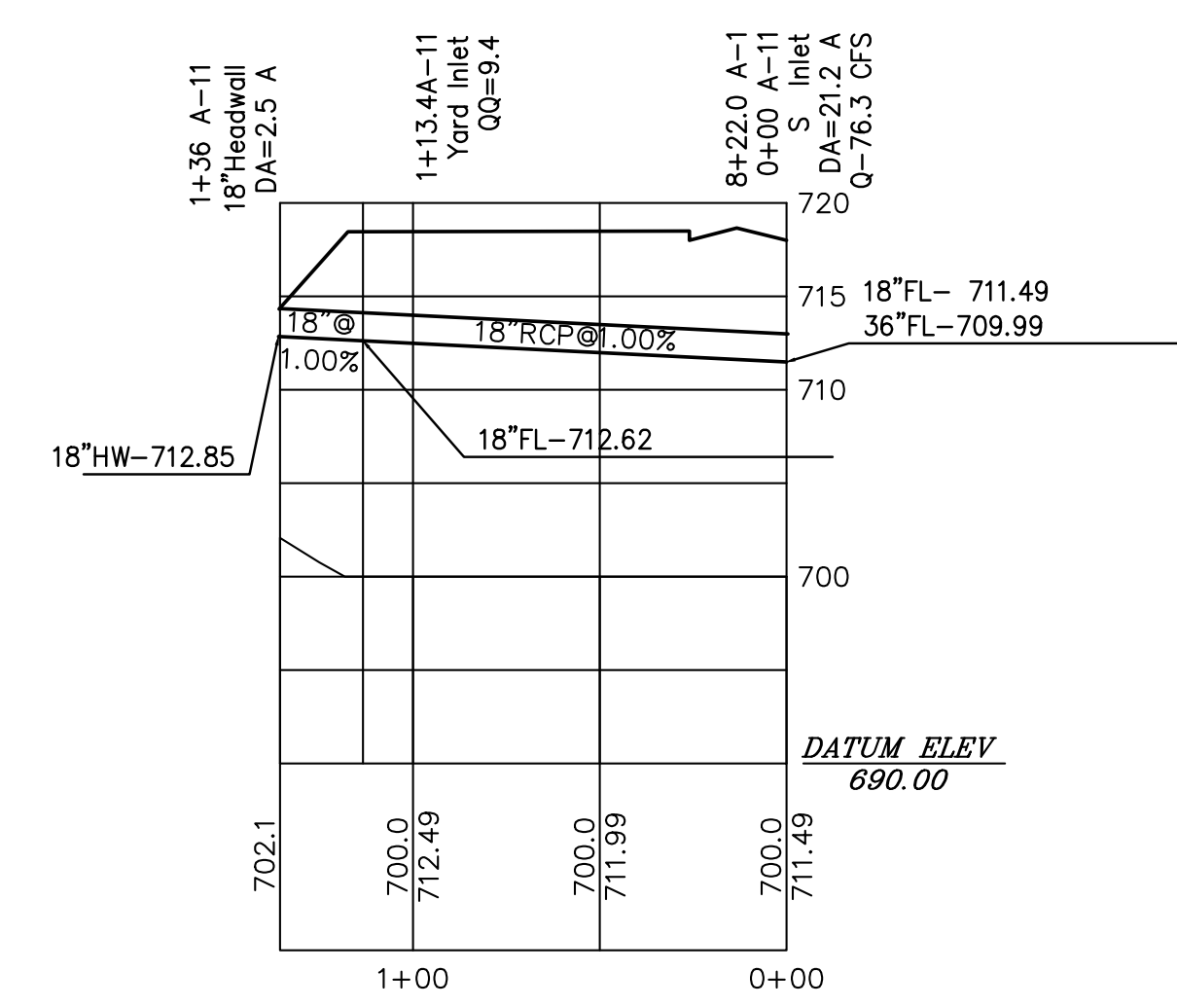


DATE	REVISIONS
8.04.15	rev'd grades

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DATE:	11.30.20
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CHECKED:	JAM III
SCALE:	1"=50'
SHEET	

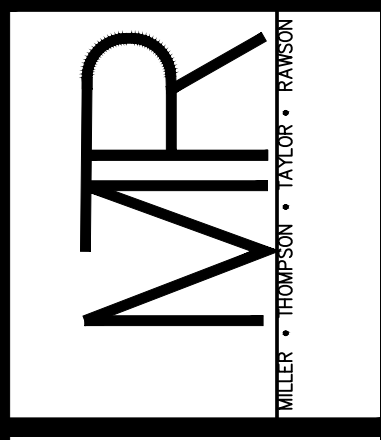


A-10

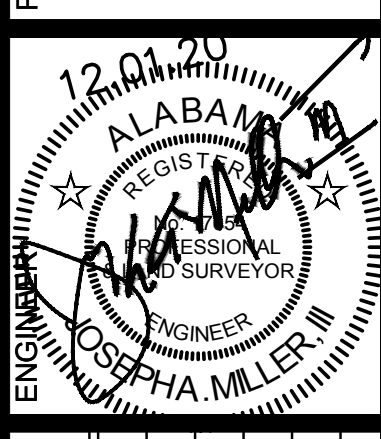


A-11

MTTR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, AL 35244
TELEPHONE (205) 320-0114

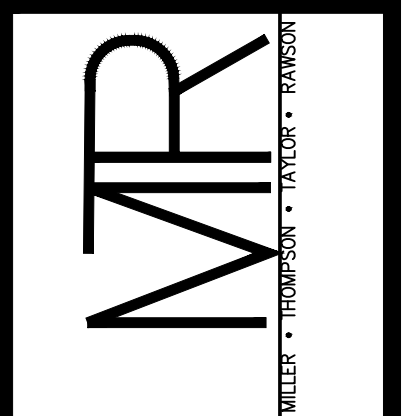
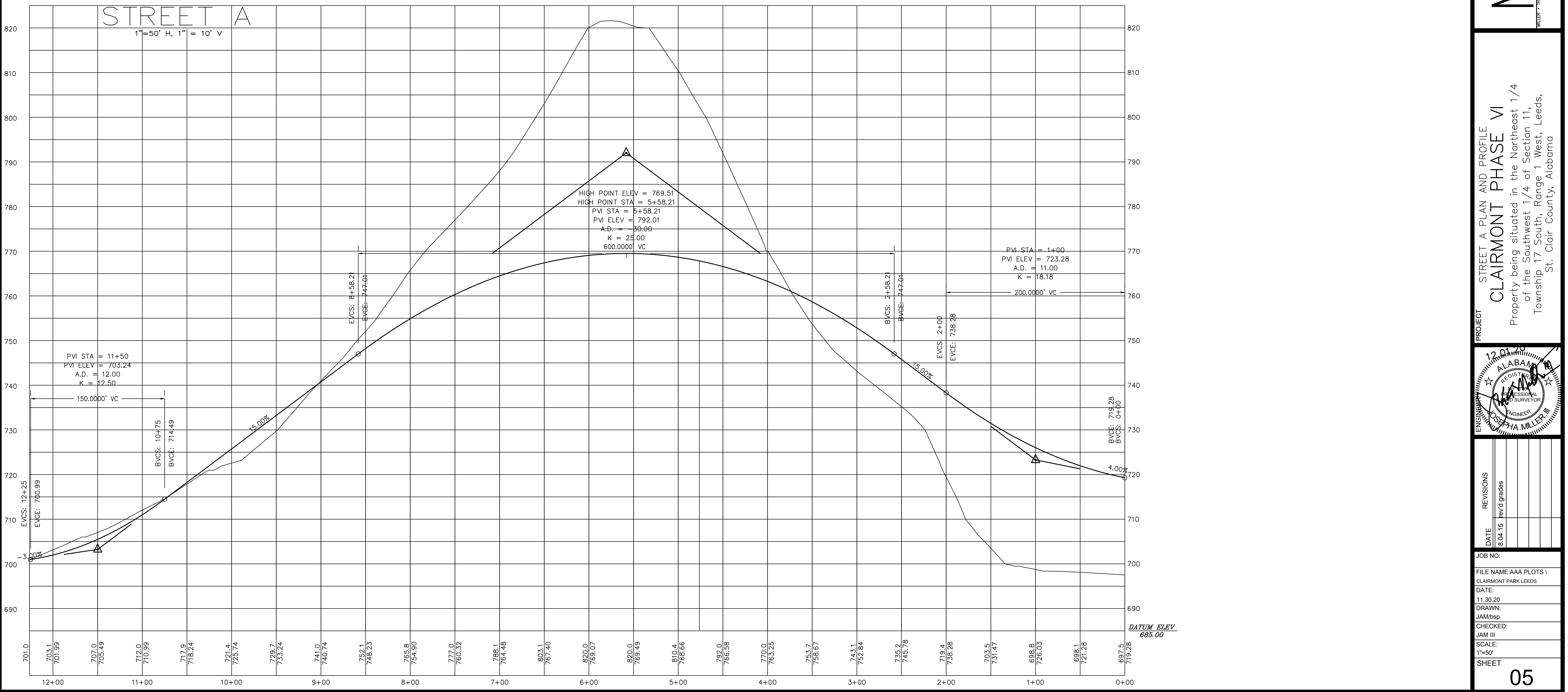
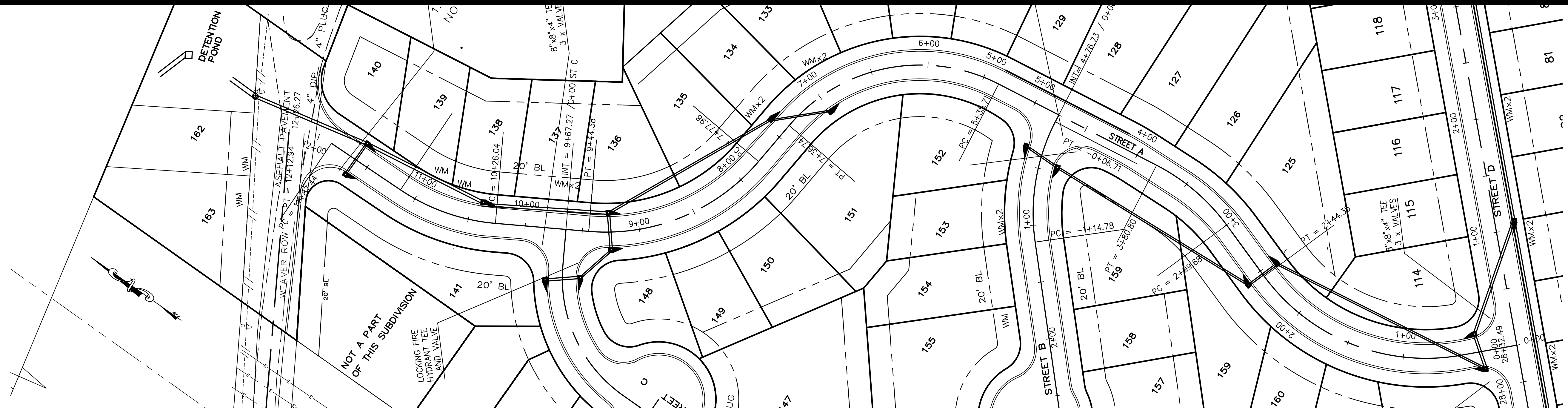


PROJECT
STORM A-10 & A-11 PLAN AND PROFILE
CLAIRMONT PHASE VI
Property being situated in the Northeast 1/4
of the Southwest 1/4 of Section 11,
Township 17 South, Range 1 West, Leeds,
St. Clair County, Alabama



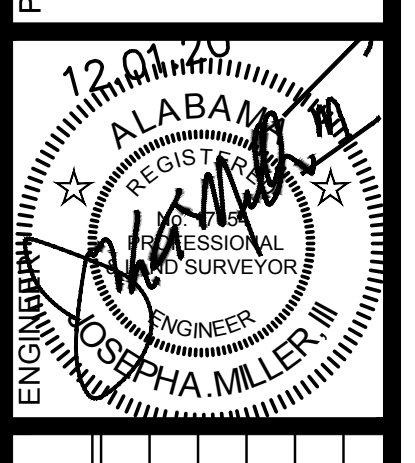
DATE	REVISIONS
8.04.15	rev'd grades

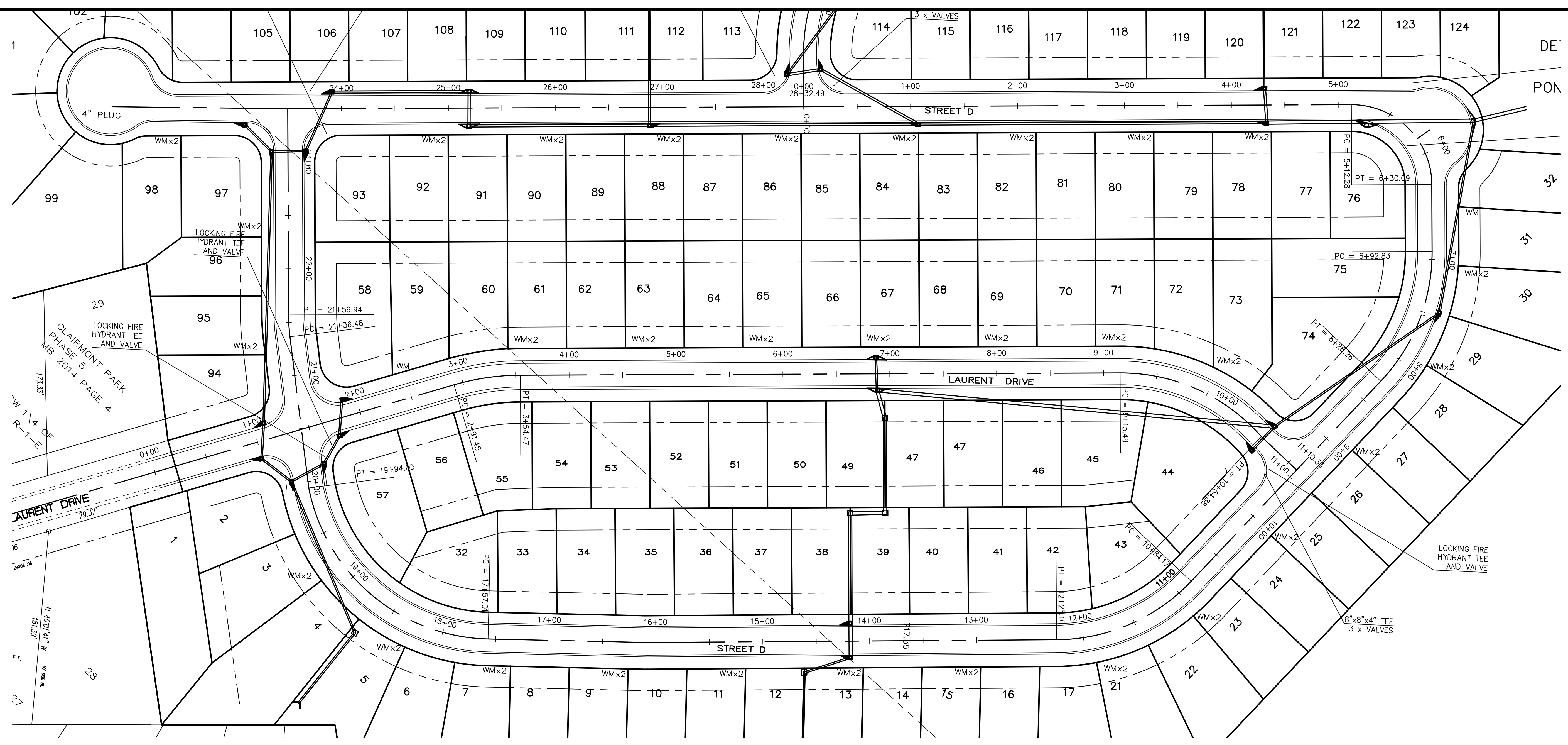
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CLAIRMONT PARK LEEDS
DATE:
11.30.20
DRAWN:
JAM/bsp
CHECKED:
JAM III
SCALE:
1"=50'
SHEET



MTR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100
 Hoover, AL 35244
 TELEPHONE (205) 320-0114

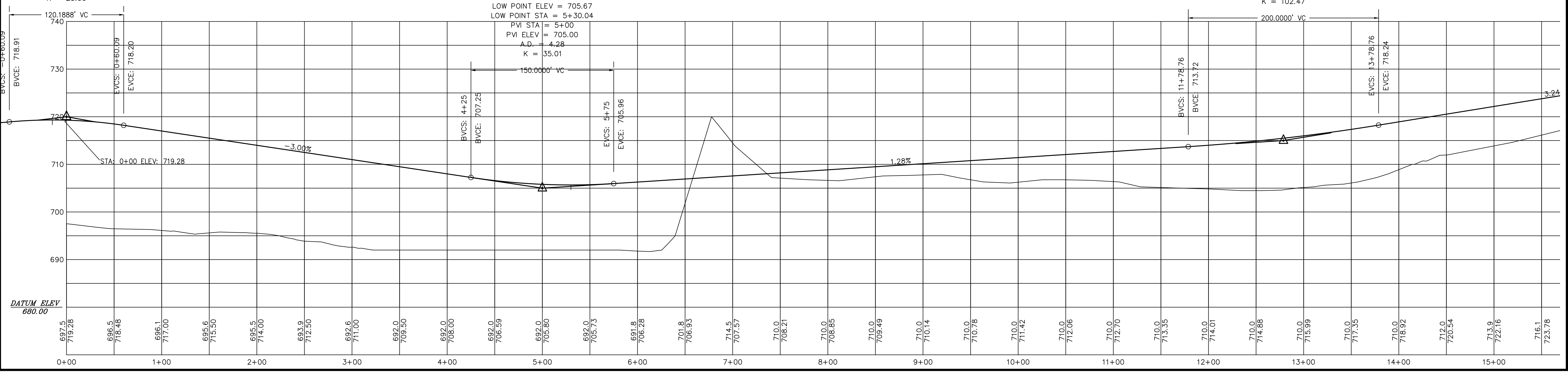
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 Property being situated in the Northeast 1/4 of the Southwest 1/4 of Section 11, Township 17 South, Range 1 West, Leeds, St. Clair County, Alabama



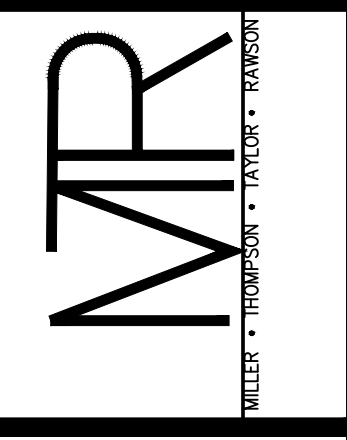


HIGH POINT ELEV = 719.32
 HIGH POINT STA = -0+14.91
 PVI STA = 0+00
 PVI ELEV = 720.00
 A.D. = -4.81
 K = 25.00

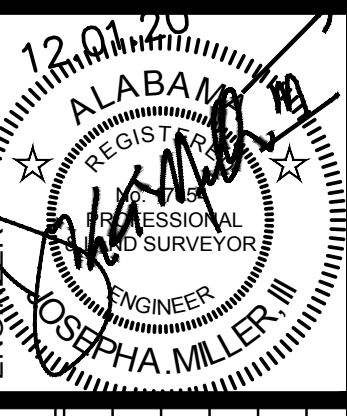
PVI STA = 12+78.76
 PVI ELEV = 715.00
 A.D. = 1.95
 K = 102.47



MTTR ENGINEERS, INC.
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 2500 Southlake Park, Suite 100
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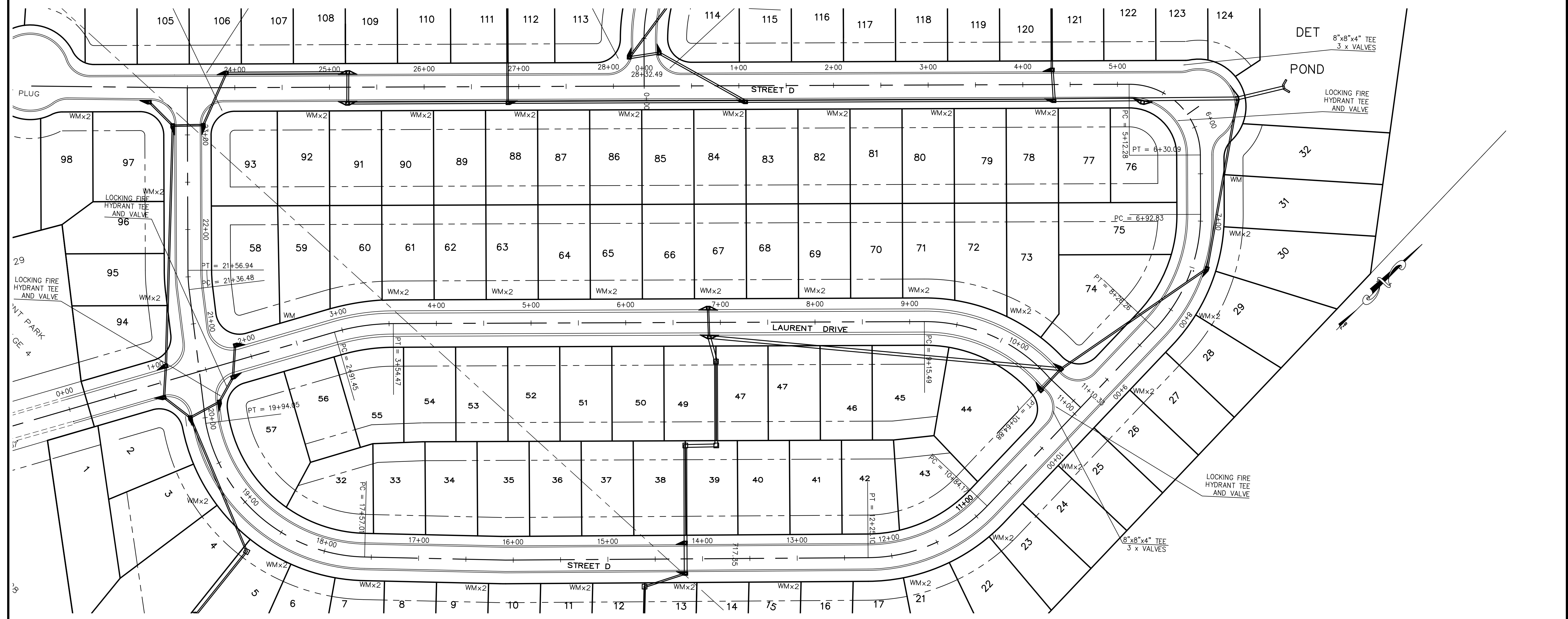


PROJECT: STREET D PLAN AND PROFILE 0+00 TO 15+00
CLAIRMONT PHASE VI
 Property being situated in the Northeast 1/4 of the Southwest 1/4 of Section 11, Township 17 South, Range 1 West, Leeds, St. Clair County, Alabama



DATE	REVISIONS
8.04.15	rev'd grades

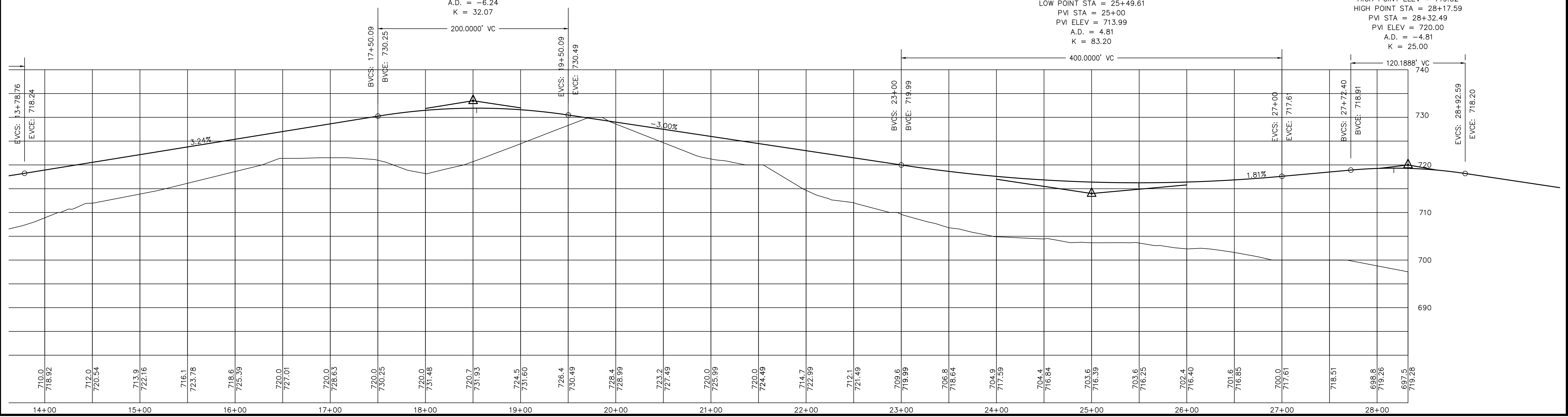
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 CLAIMMONT PARK LEEDS
 DATE: 11.30.20
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 SCALE: 1"=50'
 SHEET



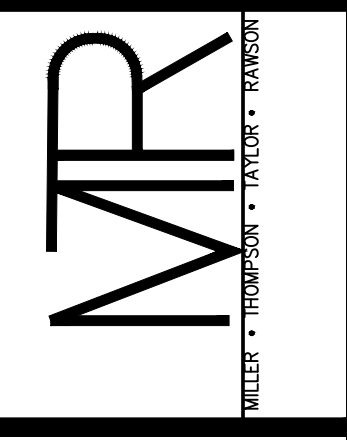
HIGH POINT ELEV = 731.93
 HIGH POINT STA = 18+53.88
 PVI STA = 18+50.09
 PVI ELEV = 733.49
 A.D. = -6.24
 K = 32.07

LOW POINT ELEV = 716.25
 LOW POINT STA = 25+49.61
 PVI STA = 25+00
 PVI ELEV = 713.99
 A.D. = 4.81
 K = 83.20

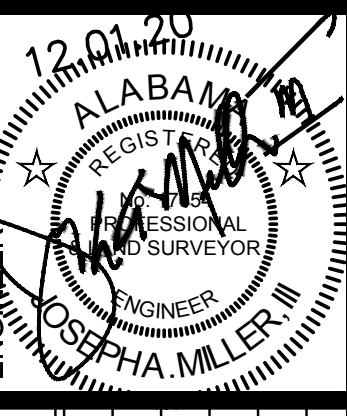
HIGH POINT ELEV = 719.32
 HIGH POINT STA = 28+17.59
 PVI STA = 28+32.49
 PVI ELEV = 720.00
 A.D. = -4.81
 K = 25.00



MTRR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100
 Hoover, AL 35244
 TELEPHONE (205) 320-0114



PROJECT: STREET D PLAN AND PROFILE 15+00 TO 28+32.49
 CLAIMONT PHASE VI
 Property being situated in the Northeast 1/4 of the Southwest 1/4 of Section 11, Township 17 South, Range 1 West, Leeds, St. Clair County, Alabama



DATE	REVISIONS
8.04.15	rev'd grades

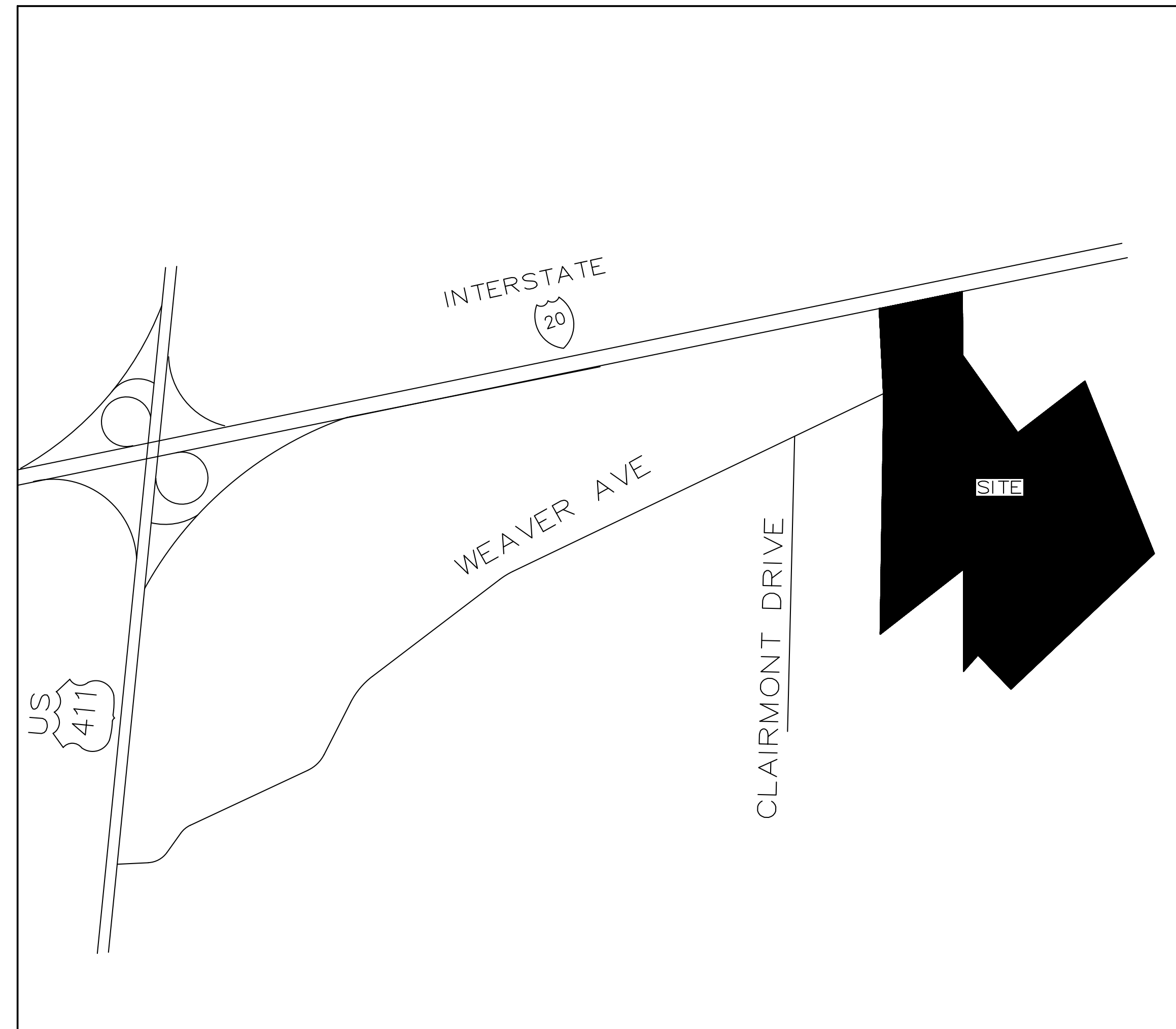
JOB NO.
 FILE NAME:AAA PLOTS 1
 CLAIMONT PARK LEEDS
 DATE: 11.30.20
 DRAWN: JAM/bsp
 CHECKED: JAM III
 SCALE: 1"=50'
 SHEET

Construction Plans for CLAIRMONT PHASE VI

Property being situated in the Northeast 1/4 of the Southwest 1/4
of Section 11, Township 17 South, Range 1 West, Leeds,
Leeds, St. Clair County, Alabama
A PROPOSED SINGLE FAMILY RESIDENTIAL DEVELOPMENT
163 LOTS ZONED R-6 (55' Wide @ the Building Line)

Owner / Developer:
Jackie Falleta
CLAIRMONT HOMES, LLC
P.O. Box 9
LEEDS, AL 35904
205-541-7286

Engineer:
Joseph A. Miller, III, PE/LS 17054
MTTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, Al. 35244
TELEPHONE (205) 320-0114



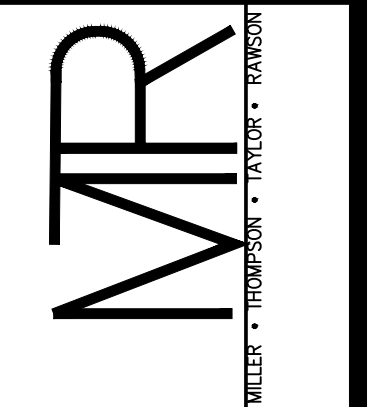
Vicinity Map
n.t.s.

NOTES:

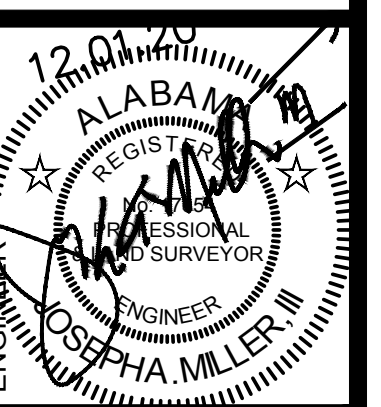
- (1) THIS PROJECT IS TO BE BUILT IN ACCORDANCE WITH STANDARDS AND SPECIFICATIONS OF THE CITY OF LEEDS. CONTRACTOR SHALL NOTIFY CITY ENGINEER OF LEEDS BEFORE BEGINNING CONSTRUCTION.
- (2) UTILITY CONTRACTOR SHALL OBTAIN PERMIT FROM CITY OF LEEDS BEFORE INSTALLING UTILITIES.
- (3) WATER FOR THIS PROJECT WILL BE FURNISHED BY THE LEEDS WATER BOARD.
- (4) UTILITY LOCATIONS ARE FROM UTILITY COMPANY RECORDS AND ARE APPROXIMATE. UTILITY LINES SHOULD BE FIELD CHECKED BEFORE BEGINNING ANY CONSTRUCTION.
- (5) THE NUMBER, LOCATION AND SPACING OF FIRE HYDRANTS SHALL BE IN ACCORD WITH THE RECOMMENDATIONS OF THE CITY ENGINEER AND/OR FIRE CHIEF.
- (6) ALL EASEMENTS SHOWN IN THIS SUBDIVISION ARE TO SERVE PUBLIC UTILITIES, SANITARY AND STORM SEWERS, AND DRAINAGE DITCHES BOTH WITHIN AND WITHOUT THIS SUBDIVISION.
- (7) ALL TRAFFIC CONTROL SIGNS AND PAINT STRIPING ARE TO BE FURNISHED AND INSTALLED BY THE DEVELOPER.
- (8) ALL TRAFFIC CONTROL DEVICES AND THEIR INSTALLATION SHALL BE IN ACCORDANCE WITH THE MOST CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, AND SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- (9) ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE SO AS TO MINIMIZE THE AREA OF EXPOSED SOIL AT ONE TIME.
- (10) ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING, NOT BY FLUSHING, BEFORE THE END OF EACH DAY.
- (11) CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
- (12) JOB SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- (13) STONE BACKFILL SHALL BE USED THE FULL DEPTH OF TRENCH UNDER ALL PAVEMENT IN ROW ONLY.
- (14) CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION & MAINTANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS.
- (15) CONTRACTOR AND DEVELOPER RESPONSIBLE FOR PROVIDING A BUILDING SITE FREE OF DRAINAGE PROBLEMS.
- (16) CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING A PROPER TRAFFIC CONTROL PLAN FOR PUBLIC SAFETY ADJACENT TO CONSTRUCTION SITE. THE TRAFFIC CONTROL PLAN SHALL BE IN ACCORDANCE WITH AMUTCD, LATEST EDITION.
- (17) NO SUBSURFACE INVESTIGATION HAS BEEN DONE BY MTM ENGINEERS, INC. A GEOTECHNICAL ENGINEER SHOULD REVIEW THE SITE BEFORE BEGINNING CONSTRUCTION.
- (18) ALL EXISTING UTILITIES APPURTENANCES, DRAINAGE STRUCTURES AND ACCESSORIES SHOULD BE DETERMINED TO MAINTAIN MINIMUM COVERAGE
- (19) ALL DISTURBED AREAS TO BE SEEDED OR SODDED PER LATEST AL DOT SPECIFICATIONS FOR GRASSING OR LANDSCAPE PLAN.
- (20) WATER MAINS SHALL MEET ALL STANDARDS AND SPECIFICATIONS OF LEEDS WATER WORKS.
- (21) SEWER LINE CONSTRUCTION SHALL COMPLY WITH JEFFERSON COUNTY HEALTH DEPT REGULATIONS AND SPECIFICATIONS.
- (22) DATUM IS U.S.G.S.
- (23) CONTOUR INTERVAL IS ONE FOOT.
- (24) SITE BENCHMARK= FRED MEADE CAP REBAR; ELEV = 701.67 AT NEW CORNER OF SITE
- (25) BOUNDARY OF PHASE IV CLOSES 1 IN 10000 MEETING 3RD ORDER ACCURACY.
- (26) There are no wooded areas, wetlands, unstable soils or slopes and any other adverse condition affecting the site

SHEET	DESCRIPTION
1	TITLE SHEET
2	PRELIMINARY PLAN
3	GRADING AND EROSION SEDIMENT CONTROL PLAN
4	GRADING AND EROSION SEDIMENT CONTROL PLAN
5	STREET A PLAN AND PROFILE
6	STREET B AND C PLAN AND PROFILE
7	STREET D PLAN AND PROFILE 0+00 TO 15+00
8	STREET D PLAN AND PROFILE 15+00 TO 28+**
9	LAURENT DRIVE PLAN AND PROFILE
10	STORM A-1 PLAN AND PROFILE 0+00 TO 11+00
11	STORM A-1 PLAN AND PROFILE 11+00 TO 16+67.7 & A-9
12	STORM A-2, A-4 PLAN AND PROFILE
13	STORM A-3, A-5 PLAN AND PROFILE
14	STORM A-10, A-11 PLAN AND PROFILE
15	STORM A-9
16	WATER MAIN EXTENSION PLAN
17	WATER MAIN EXTENSION PLAN
18	SEWER PLAN
19	SEWER PLAN
20	SITE ASSESSMENT MAP
21	DETAIL SHEET
21	EROSION CONTROL DETAILS
22	DETENTION POND

MTTR
ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, Al. 35244
TELEPHONE (205) 320-0114

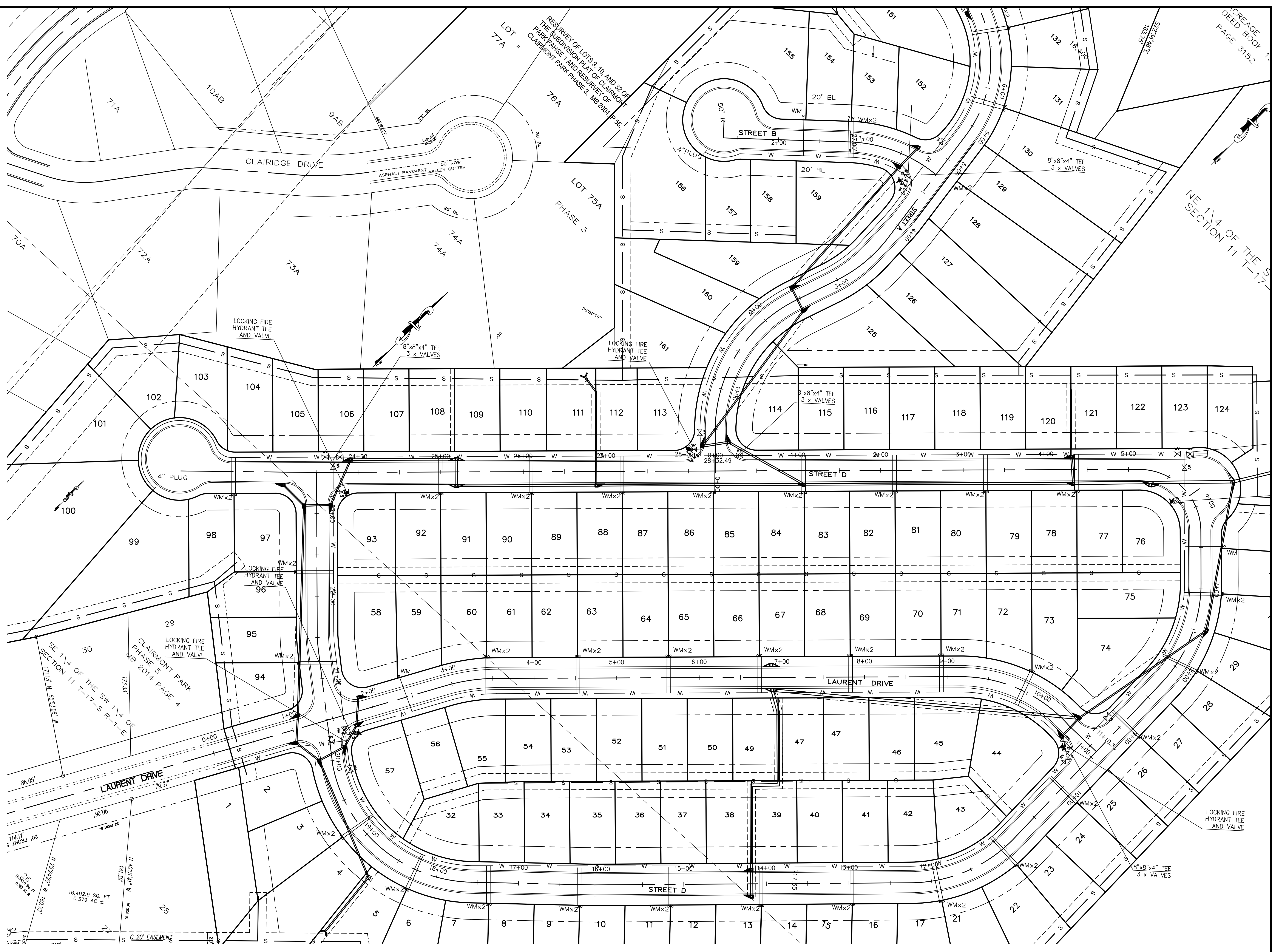


PROJECT
Construction Plans for
CLAIRMONT PHASE VI
Property being situated in the Northeast 1/4
of the Southwest 1/4 of Section 11,
Township 17 South, Range 1 West, Leeds,
St. Clair County, Alabama



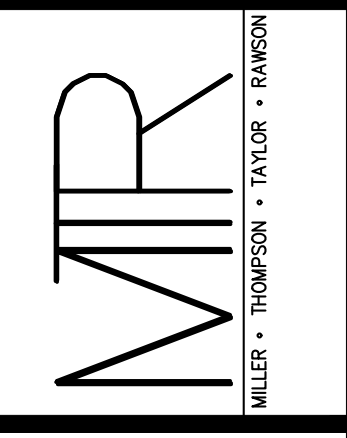
REVISIONS
DATE

JOB NO:
FILE NAME:AAA PLOTS 1
CLAIRMONT PARK LEEDS
DATE:
11.30.20
DRAWN:
JAM/bsp
CHECKED:
JAM III
SCALE:
nts
SHEET

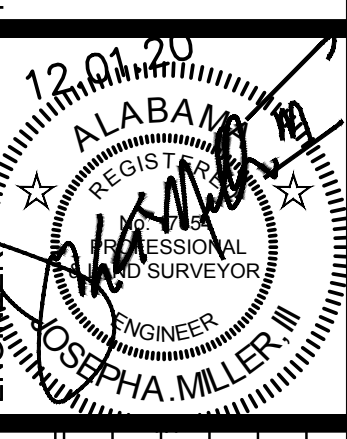


CREAGE BOOK 15
PAGE 3152

MTR ENGINEERS, INC.
CONSULTING ENGINEERS—LAND SURVEYORS
2500 Southlake Park, Suite 100,
HOOPER, AL. 35244
TELEPHONE (205) 320-0114



PROJECT
CLAIRMONT PARK PHASE VI
WATER PLAN
Property being situated in the
Southeast 1/4 of the
Southwest 1/4 of Section 11,
Township 17 South, Range 1 West, Leeds,
Leeds, St. Clair County, Alabama



REVISIONS	DATE	JOB NO.

FILE NAME: AAA PLOTS 1
CLAIRMONT PARK LEEDS
DATE: NOVEMBER 11th, 2020
DRAWN: JAM/bsp
CHECKED: JAM III
SCALE: 1" = 100.00'
SHEET

LEGEND

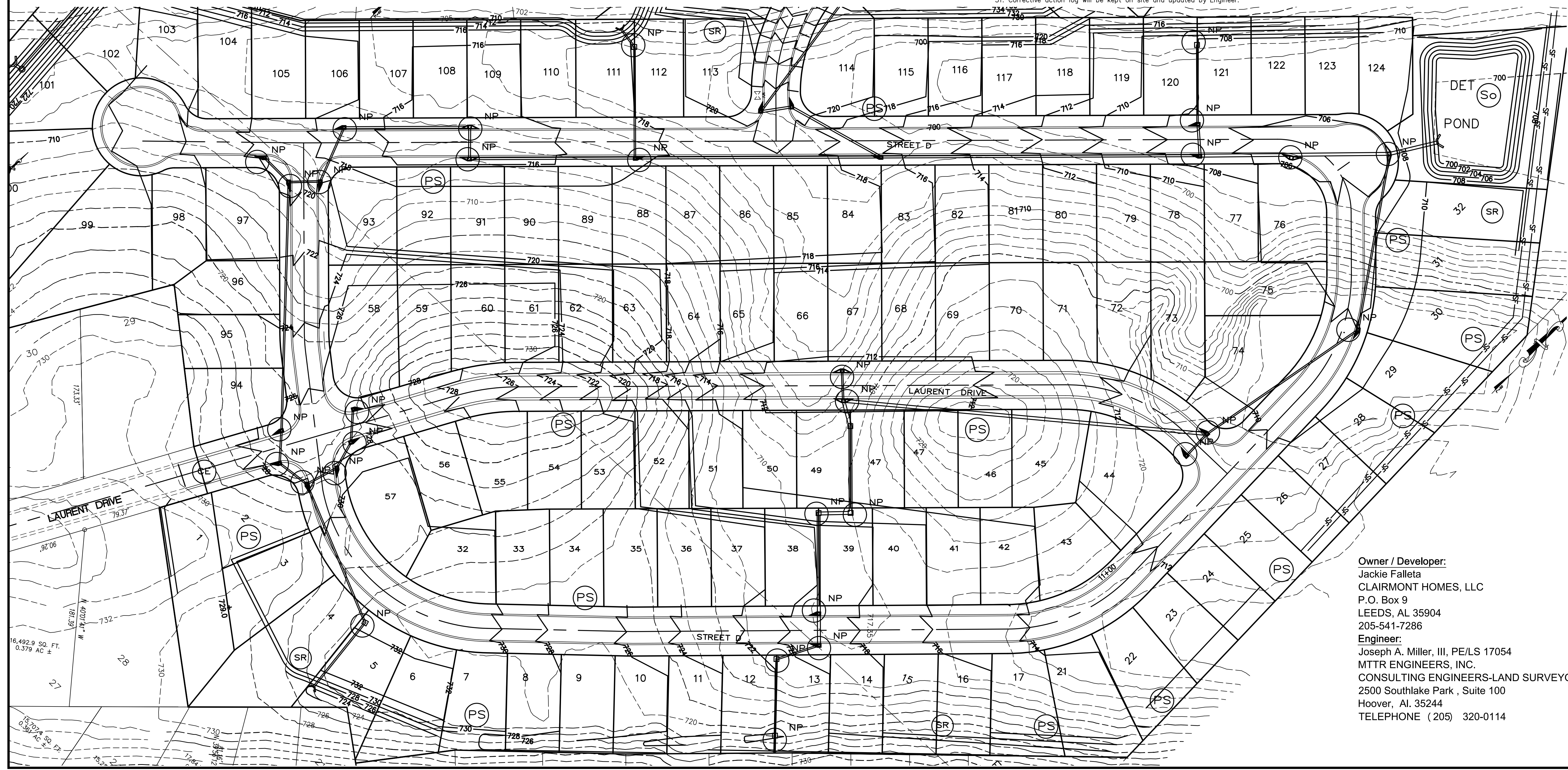
- SF ——— SF CLASS I SILT FENCE METAL POSTS WIRE REINFORCEMENT
- (CE) CONSTRUCTION EXIT
- (SR) Surface Roughening
- (NP) SILT SOCK INLET PROTECTION
- (PS) PERMANENT SEEDING
SEED AND MULCH DISTURBED AREAS AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS
- (So) PERMANENT SOD
SOD DISTURBED AREAS AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS
- BRUSH FABRIC BARRIER

INSPECTIONS WILL BE ONCE BMP MEASURES ARE INSTALLED AND EVERY 0.75" RAIN / MONTHLY
NO DELEGATION OF AUTHORITY THIS PROJECT
CORRECTIVE LOG WILL BE KEPT BY CONTRACTOR ON SITE
INSPECTION REPORTS WILL BE SENT TO OWNER, CONTRACTOR

BMP MAY BE UPDATED, REVISED AND CHANGED IF SITE CONDITIONS WARRANT. CHANGES WILL BE LOGGED IN ACTION LOG AND BMP PLAN. REVISIONS WILL BE NOTED AND DATED
UPDATED LOG WILL BE KEPT ON SITE AND COPY IN ENGINEER'S OFFICE
REVISIONS WILL BE MADE 24 HOURS FROM INSPECTION

BMP TYPE MAINTENANCE SCHEDULE STAFF
TYPE A SILT FENCE PERIMETER, INSPECT 0.75" RAIN/MONTHLY BY QCP
SURFACE ROUGHENING POND SLOPES, DURING POND GRADING, INSPECT BY QCP
INLET PROTECTION, INSPECT 0.75" RAIN/MONTHLY BY QCP
CONSTRUCTION EXIT, 0.75" RAIN /MONTHLY DAILY BY QCP
ON SITE SEDIMENT TRAPPED IN BMPs, INSPECT 0.75" RAIN/MONTHLY BY QCP

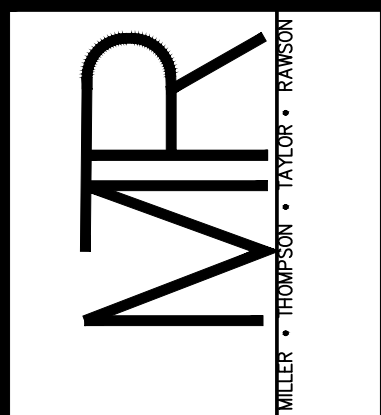
1. EROSION CONTROL MEASURES ARE TO BE ACCOMPLISHED PRIOR TO ANY OTHER CONSTRUCTION ON THE JOB SITE AND MAINTAINED UNTIL PERMANENT GROUND COVER IS ESTABLISHED.
2. ALL CONSTRUCTION SHALL BE DONE IN A LOGICAL SEQUENCE SO TO MINIMIZE THE AREA OF EXPOSED SOIL AT ANY ONE TIME. DO NOT GRADE UNTIL READY TO BUILD IMPROVEMENTS IN THAT AREA.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS.
NO WORK IS TO BEGIN UNTIL COPIES OF ALL REQUIRED PERMITS IS FURNISHED TO THE OWNER.
5. THE CONTRACTOR IS TO INSTALL ALL EROSION CONTROL DEVICES BEFORE ANY CONSTRUCTION BEGINS. SUCH DEVICES SHALL BE INSPECTED AFTER EVERY 0.75" RAINFALL AND BE REPAIRED AND MAINTAINED DAILY UNTIL ALL CONSTRUCTION IS COMPLETED.
6. ALL DISTURBED GROUND LEFT INACTIVE FOR 13 OR MORE DAYS SHALL BE STABILIZED BY SEEDING, OR SODDING PER AL. DOT STANDARDS AND SPECIFICATIONS.
7. ANY SEDIMENT REACHING THE ROADWAY SHALL BE REMOVED BY STREET CLEANING/SHOVELING, MECHANICAL OR MANUAL SWEEPING, AND NOT BY FLUSHING BEFORE THE END OF EACH DAY.
8. ALL DISTURBED SHALL BE SODDED OR SEEDED & MULCHED AS PER AL. D.O.T. STANDARDS AND SPECIFICATIONS OR FOR DETAILS SHEET 13.
9. ALL SEEDING AND MULCH WILL BE PER AL DOT STANDARDS AND SPECIFICATIONS.
10. NA
11. There are no allowable non-stormwater discharges from this site except dust control.
12. Once site is stabilized and grassed, NPDES permit properly terminated BMP to be removed.
13. Care is to be taken fueling equipment, properly clean up spills, properly dispose of contaminated soils in appropriate environmental landfill.
Contractor shall keep on hand sufficient oil and grease absorbing materials to contain and cleanup fuel spills or leaks. No additional BMP required. Spill kit to contain at minimum:
2 x 48" socks, 10 x soak up pads, 2 x disposal bag and ties. Instruction manual.
14. Respread using best methods any silt/ sediment buildup captured behind BMP and reseed and compact on site.
Remove any silt/sediment entering storm sewers inlets and pipes, respread and compact on site.
Remove silt/sediment when at 50% of BMP, monitor BMPs for this weekly.
Remove any silt/sediment that recharges offsite, bring back to site, respread and compact.
15. This BMP plan may be updated as required by changes to construction, ADEM, weather patterns or new technologies as directed by the engineer, local, state or federal officials.
16. No turbidity testing required
17. No wetlands or riparian zones on the site.
18. Stormwater Discharge point for entire site is along southern property line.
19. Trash, construction waste, debris, garbage, etc shall be deposited in waste containers and properly disposed of once a week.
20. There are no allowable sources of non storm water discharges except Dust control, vehicle washdown and fire water.
21. NA
22. 8.5 Disturbed Acres, No Stormwater Turbidity monitoring is required .
23. Latitude = 33°33'41" N, Longitude = 86°50'18" W
24. SIC Code = 1542
25. CBPPP prepared by Joseph A. Miller, III, PE/LS 17054
26. Contact CBPPP Information at right.
27. NO VEHICLE WASHOUT AREA OR VEHICLE WASHING WITH SOAP THIS SITE.
28. NO UNIQUE FEATURES TO BE PROTECTED THIS SITE.
29. No additional applicable Federal, State programs this site.
30. All records will be kept at Engineer's office and Contractor's office for 3 years and will be available on request by ADEM.
31. Corrective action log will be kept on site and updated by Engineer.



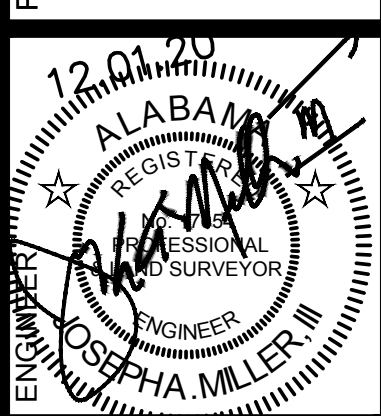
Owner / Developer:
Jackie Falleta
CLAIRMONT HOMES, LLC
P.O. Box 9
LEEDS, AL 35904
205-541-7286

Engineer:
Joseph A. Miller, III, PE/LS 17054
MTTR ENGINEERS, INC.
CONSULTING ENGINEERS-LAND SURVEYORS
2500 Southlake Park, Suite 100
Hoover, AL 35244
TELEPHONE (205) 320-0114

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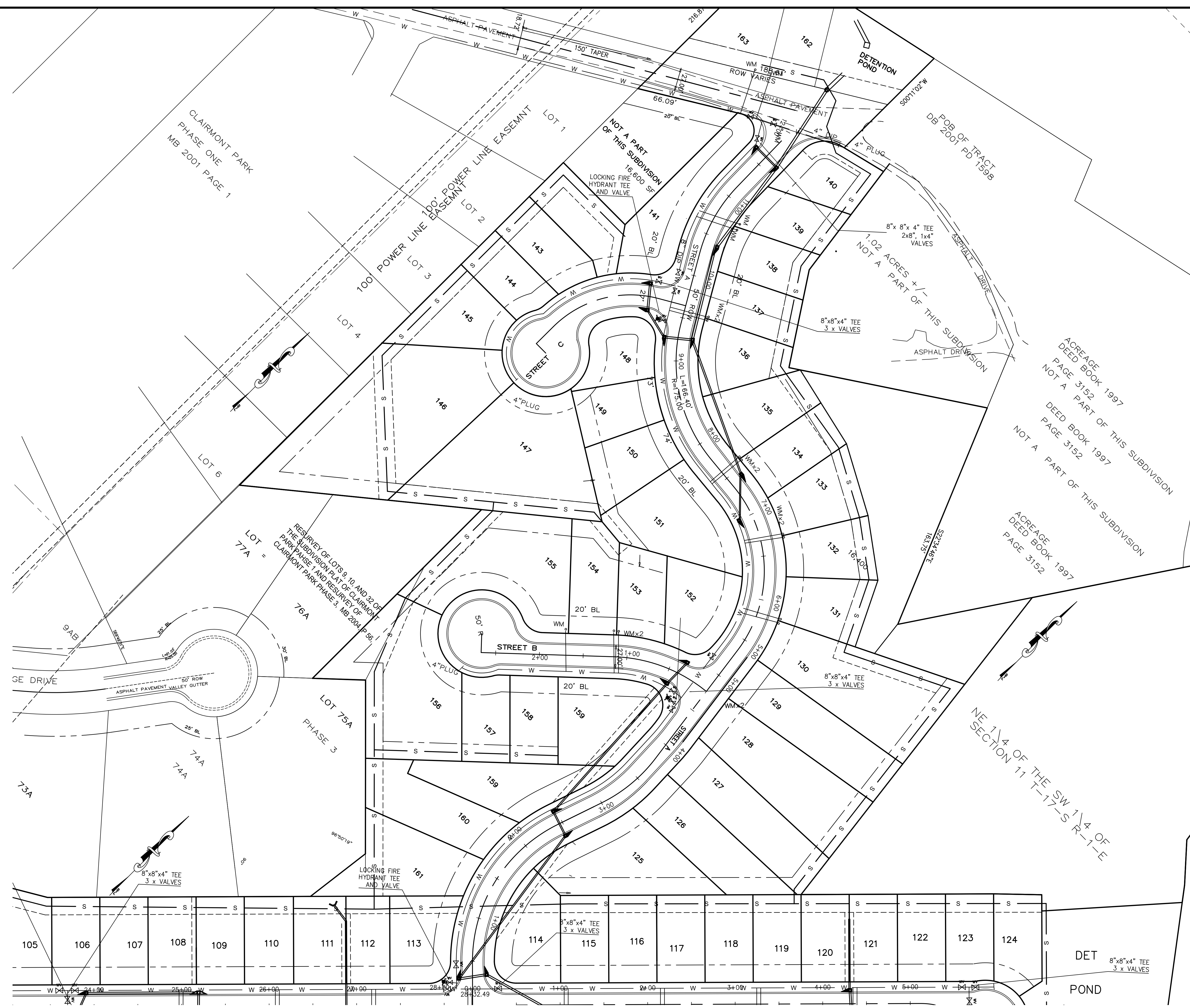


PROJECT: GRADING / EROSION CONTROL PLANS FOR
CLAIRMONT PHASE VI
Property being situated in the Northeast 1/4 of the Southwest 1/4 of Section 11, Township 17 South, Range 1 West, Leeds, St. Clair County, Alabama



DATE	REVISIONS
8.04.15	rev'd grades

JOB NO.	FILE NAME:AAA PLOTS 1 CLAIRMONT PARK LEEDS
DATE:	11.30.20
DRAWN:	JAM/bsp
CHECKED:	JAM III
SCALE:	nts
SHEET	



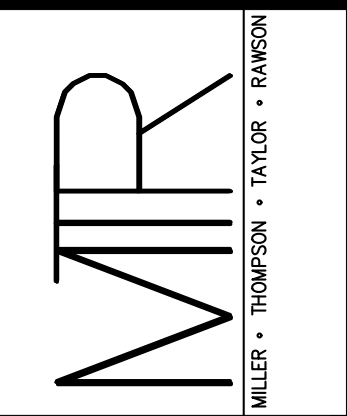
CLAIRMONT PARK
 PHASE ONE
 MB 2001 PAGE 1

RESURVEY OF LOTS 9, 10 AND 32 OF
 THE SUBDIVISION PLAT OF CLAIRMONT
 PARK PHASE I AND RESURVEY OF
 CLAIRMONT PARK PHASE 3, MB 2004 P. 36

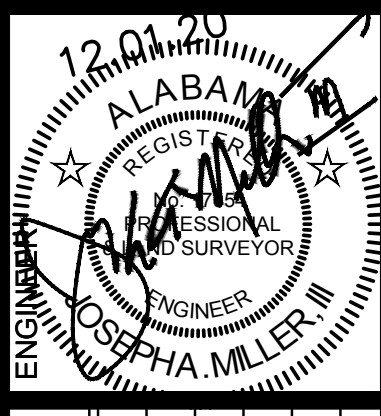
ACREAGE BOOK 1997
 DEED BOOK 3152
 NOT A PART OF THIS SUBDIVISION
 DEED BOOK 1997
 PAGE 3152
 NOT A PART OF THIS SUBDIVISION
 ACREAGE BOOK 1997
 DEED BOOK 3152
 NOT A PART OF THIS SUBDIVISION

NE 1/4 OF THE SW 1/4 OF
 SECTION 11 T-17-S R-1-E

MITR ENGINEERS, INC.
 CONSULTING ENGINEERS-LAND SURVEYORS
 2500 Southlake Park, Suite 100,
 HOOPER, AL. 35244
 TELEPHONE (205) 320-0114



WATER PLAN
CLAIRMONT PARK PHASE VI
 Property being situated in the
 Southeast 1/4 of the
 Southwest 1/4 of Section 11,
 Township 17 South, Range 1 West, Leeds,
 Leeds, St. Clair County, Alabama



REVISIONS	DATE	JOB NO.

FILE NAME:AAA PLOTS 1
 CLAIRMONT PARK LEEDS
 DATE:
 NOVEMBER 11th, 2020
 DRAWN:
 JAM/bsp
 CHECKED:
 JAM III
 SCALE:
 1" = 100.00'
 SHEET

File Attachments for Item:

2. A20-000042 - A REQUEST BY PATRICK CHUMBLEY, APPLICANT, GENESIS EQUESTRIAN CENTER, LLC, OWNER, TO ALLOW A COMMERCIAL PROCESSING FACILITY AS PART OF AN EXISTING NURSERY AT 2486 EASTERN VALLEY RD., LEEDS, AL 35094, ZONED A-1, AGRICULTURE. TPID 2400363000001001.

NOTICE OF PUBLIC HEARING - Reminder

City of Leeds, Alabama
Zoning Board of Adjustments

APPLICATION

An application for construct a 1200 SF processing and storage building to be used in conjunction with an onsite nursery.

Zoning Board of Adjustments

The Zoning Board of Adjustments is vested with the responsibility and authority of authorizing variances that will not be contrary to the public interest and where owing to special conditions, a literal enforcement of the provisions of this ordinance would result in unnecessary hardship.

CASE #:	A20-000042
APPLICANT NAME:	patrick chumbley
PROPERTY OWNER:	GENESIS EQUESTRIAN CENTER LLC
TAX PARCEL ID#S:	2400363000001001
PROPERTY ADDRESS:	2486 EASTERN VALLEY RD; LEEDS, AL 35094
PROPERTY ZONING:	A-1: AGRICULTURE DISTRICT

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on:

Date:
Time: 5:00 p.m.
Place: <https://global.gotomeeting.com/join/435727357>
1-571-317-3122 (access Code) 435-727-357

Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission. For more information about the application and related issues or to schedule an appointment:

E-mail: developmentbt@leedsalabama.gov

Phone: 205-699-0943

Mailing Address:
Leeds Zoning Board of Adjustments
c/o Department of Inspections
1404 9th Street
Leeds, AL 35094

24 00 36 3	GENESIS EQ 3595 RIDGI MOUNTAIN AL		35213-3617
24 00 36 3	SMITH RON 100 FOSTEF LEEDS	AL	35094
27 00 01 2	CALLAWAY PO BOX 364 LEEDS	AL	35094-0007
24 00 36 3	HENDRIX SI 6191 ZEIGL LEEDS	AL	35094-3899
27 00 01 2	CRAWLEY D 108 FOSTEF LEEDS	AL	35094-3113
24 00 36 3	CALLOWAY PO BOX 364 LEEDS	AL	35094-0007
24 00 36 3	MCGOWAN 701 CRESTE HOOVER	AL	35094-0007
24 00 36 3	MOORE JAN 2470 EASTE LEEDS	AL	35094-3113

File Attachments for Item:

3. A20-000043 - A REQUEST BY WAYNE WEEMS, APPLICANT, SMALLTOWN PROPERTIES, LLC, OWNER, TO ALLOW A B-2, GENERAL BUSINESS DISTRICT USE WITHIN A I-1, INDUSTRIAL DISTRICT (SPA SERVICES - SKIN TREATMENT) AT 1628 9TH ST SUITE 112, 35094. TPID 250021100900100.

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Zoning Board of Adjustments

APPLICATION

An application for a business specializing in spa services, skin treatment, body hair removal in the I-1, Industrial Zoning District.

Zoning Board of Adjustments

The Zoning Board of Adjustments is vested with the responsibility and authority of authorizing variances which will not be contrary to the public interest and where owing to special conditions, a literal enforcement of the provisions of this ordinance would result in unnecessary hardship.

CASE #:	A20-000043
APPLICANT NAME:	Wayne Weems
PROPERTY OWNER:	SMALLTOWN PROPERTIES LLC
TAX PARCEL ID#S:	2500211009001000
PROPERTY ADDRESS:	1628 9TH ST 112; LEEDS, AL 35094
PROPERTY ZONING:	I-1: LIGHT INDUSTRIAL DISTRICT

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on:

Date: February 23, 2021

Time: 5:00 p.m.

Place: GotoMeeting

Leeds - Board of Zoning Adjustments - 02-23-2021

Tue, Feb 23, 2021 5:00 PM - 6:30 PM (CST)

Please join my meeting from your computer, tablet or smartphone.

<https://global.gotomeeting.com/join/435727357>

You can also dial in using your phone.

United States: +1 (571) 317-3122

Access Code: 435-727-357

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Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission.

For more information about the application and related issues or to schedule an appointment:

Phone: 205-699-0943

E-mail: development@leedsalabama.gov

Mailing Address:

Leeds Zoning Board of Adjustments
c/o Development Services
1404 9th Street
Leeds, AL 35094

File Attachments for Item:

4. A21-000009 - A REQUEST BY GREGORY O'BARR, APPLICANT AND OWNER, TO ALLOW A DECK TO BE CONSTRUCTED IN THE FRONT YARD TO BE NO CLOSER THAN TEN (10) FEET FROM EDGE OF PAVEMENT AT 1171 ROBERT E LEE ST., 35094, ZONED R-2 SFD DISTRICT, TPID 2500202006023000

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Zoning Board of Adjustments

APPLICATION

An application to permit the replacement of rotted deck with a new deck and to allow the same to be placed in the front yard no closer than ten (10) feet of the edge of pavement.

Zoning Board of Adjustments

The Zoning Board of Adjustments is vested with the responsibility and authority of authorizing variances which will not be contrary to the public interest and where owing to special conditions, a literal enforcement of the provisions of this ordinance would result in unnecessary hardship.

CASE #:	A21-000009
APPLICANT NAME:	Gregory OBarr
PROPERTY OWNER:	OBARR GREGORY CLYDE
TAX PARCEL ID#S:	2500202006023000
PROPERTY ADDRESS:	1171 ROBERT E LEE ST; LEEDS, AL 35094
PROPERTY ZONING:	R-2: SINGLE FAMILY RESIDENTIAL DISTRICT

NOTICE IS HEREBY GIVEN that the Planning and Zoning Commission will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on:

Date: February 23, 2021
Time: 5:00 p.m.
Place: GotoMeeting
Leeds - Board of Zoning Adjustments - 02-23-2021
Tue, Feb 23, 2021 5:00 PM - 6:30 PM (CST)

Please join my meeting from your computer, tablet or smartphone.

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Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Board. For more information about the application and related issues or to schedule an appointment:

Phone: 205-699-0943

E-mail: developmentbt@leedsalabama.gov

Mailing Address:
Leeds Zoning Board of Adjustments
c/o Department of Inspections
1404 9th Street
Leeds, AL 35094

File Attachments for Item:

5. A21-000010 - A REQUEST BY KEITH JONES , APPLICANT AND OWNER, TO ALLOW A GARAGE THAT EXCEED THA MAXIMUM ALLOWED BY ORDINANCE AT 2012 PALMER AVE, 35094. TPID 2602090000000000

NOTICE OF PUBLIC HEARING

City of Leeds, Alabama
Zoning Board of Adjustments

APPLICATION

An application to allow an accessory building to exceed the max. square footage allowed.

Zoning Board of Adjustments

The Zoning Board of Adjustments is vested with the responsibility and authority of authorizing variances that will not be contrary to the public interest and where owing to special conditions, a literal enforcement of the provisions of this ordinance would result in unnecessary hardship.

CASE #:	A21-000010
APPLICANT NAME:	Keith Jones
PROPERTY OWNER:	JONES KEITH O & TAMMY
TAX PARCEL ID#S:	2602090000000000
PROPERTY ADDRESS:	2012 PALMER AVE; LEEDS, AL 35094
PROPERTY ZONING:	E-1: SINGLE FAMILY RESIDENTIAL ESTATE DISTRICT

NOTICE IS HEREBY GIVEN that the Board of Zoning Adjustments will hold a public hearing on the proposed preliminary plat. The hearing is scheduled on:

Date: 02/23/2021
Time: 5:00 p.m.
Leeds - Board of Zoning Adjustments - 02-23-2021
Tue, Feb 23, 2021 5:00 PM - 6:30 PM (CST)
Please join my meeting from your computer, tablet or smartphone.
Place: <https://global.gotomeeting.com/join/435727357>
You can also dial in using your phone.
United States: [+1 \(571\) 317-3122](tel:+15713173122)
Access Code: 435-727-357

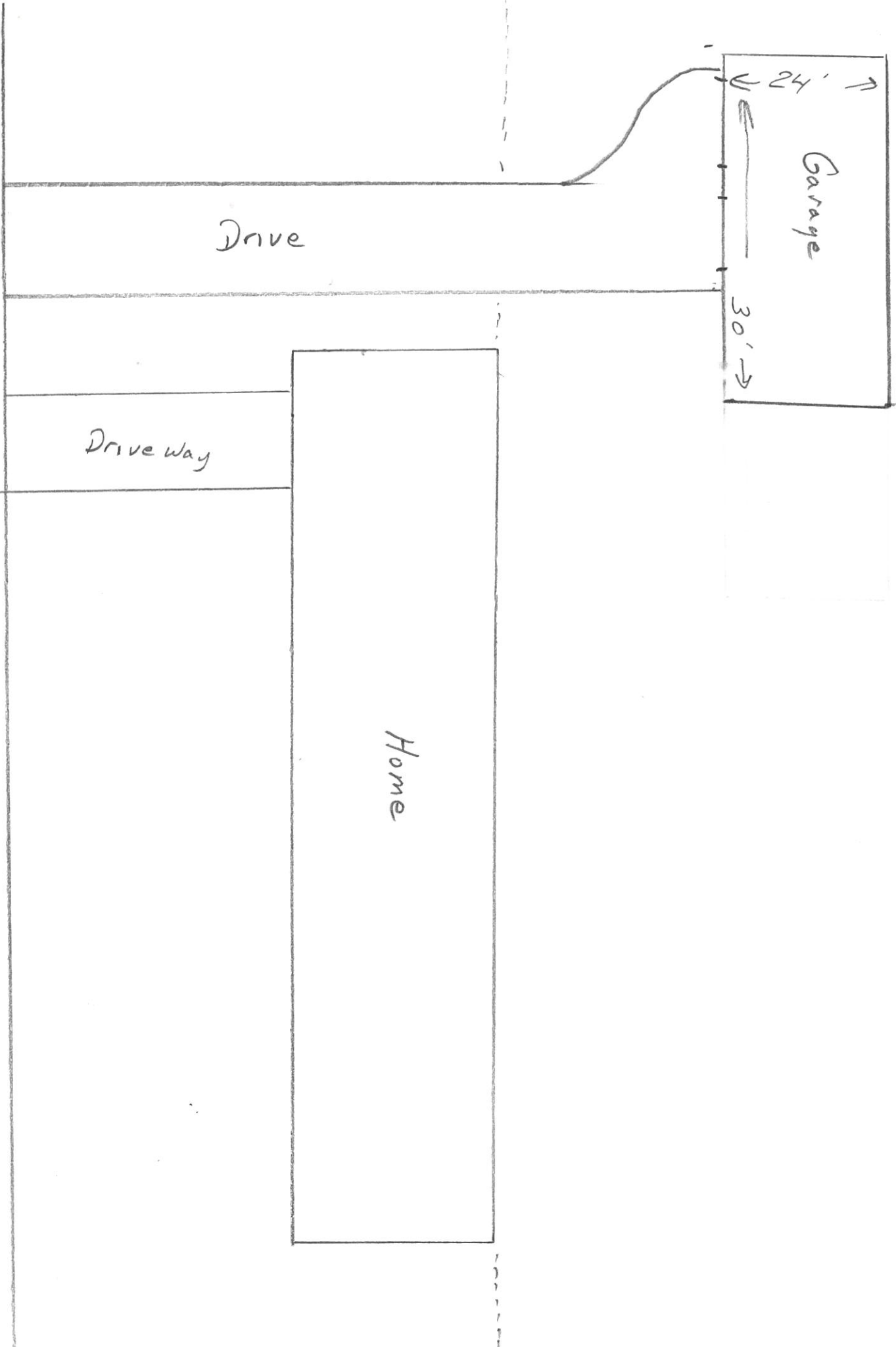
Public Information: Any interested persons or their representative may appear at the meeting and comment on the application. Written comments may also be mailed to the Commission. For more information about the application and related issues or to schedule an appointment:

Phone: 205-699-0943

E-mail: developmentbt@leedsalabama.gov

Mailing Address:
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c/o Department of Inspections
1404 9th Street
Leeds, AL 35094

Road



Quality Construction

There are many advantages to choosing a custom-built garage or storage building by Bullard. See below for standard garage construction details.

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under controlled conditions.

- Special equipment enables us to build a better quality product.

- Advanced equipment allows

Bullard to construct your building more precisely, quickly, and economically.

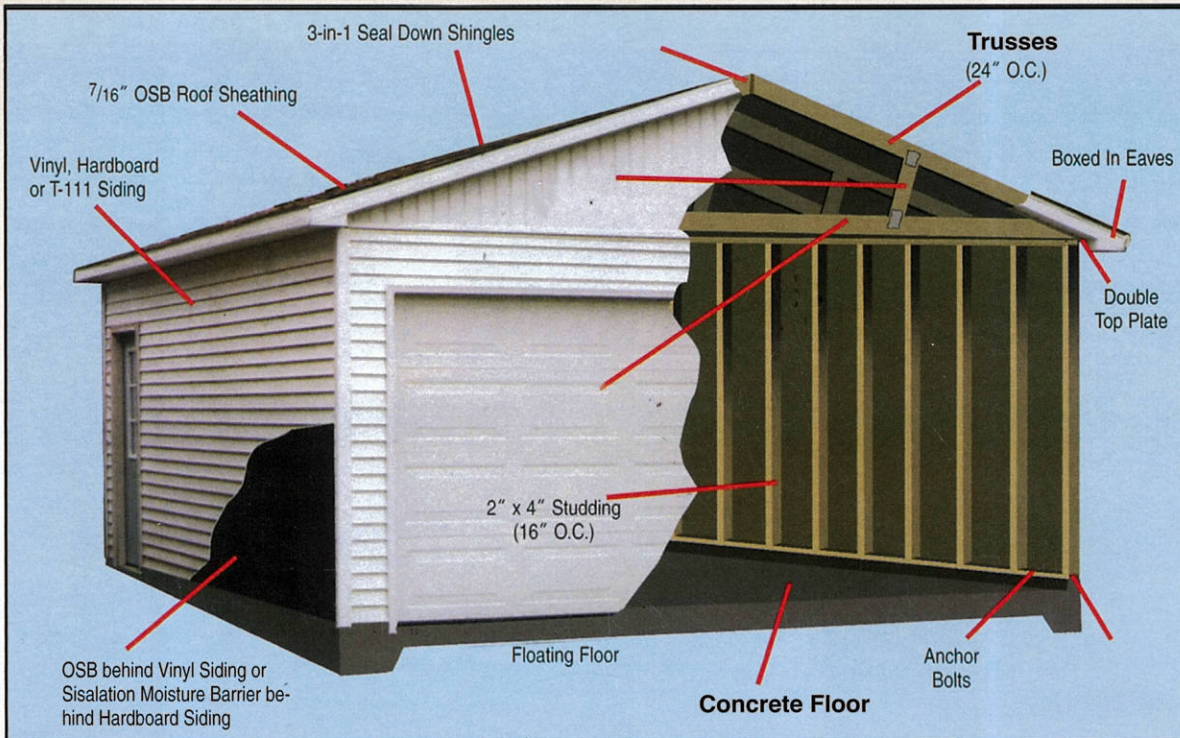
We are the Professional Garage Builders!



Factory Built Trusses – standard in all building, make a stronger and more precise building.



All our buildings start with a professionally finished Concrete Floor.



Our Standard Garage Includes:

- Vinyl Siding or Pre-Primed Hardboard Siding.
- **Trusses**
- 16" O.C. Studding
- Overhang on both Eaves and Gables
- Steel Overhead Door
- Walk-in Steel Insulated Service Door/Vinyl Coated
- **Concrete Floor**
- Vinyl Window
- Seal Down Shingles
- 7/16" OSB Roof Sheathing
- Double Top Plate

The Building Center, Inc. d/b/a

Bullard Garages

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